

ORDINANCE NO. 2291

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SUGAR LAND, TEXAS, AMENDING THE COSTCO WHOLESALE CORPORATION – TELFAIR CENTER LAKEFRONT DISTRICT PLANNED DEVELOPMENT (PD) FINAL DEVELOPMENT PLAN, LOCATED AT THE SOUTHEAST CORNER OF WALLINGFORD AVENUE AND WESTCOTT AVENUE; RE-ADOPTING THE FINAL DEVELOPMENT PLAN; AND REPEALING ORDINANCE NO. 1869.

WHEREAS, on September 20, 2011, City Council approved Ordinance No. 1826, the General Development Plan for Telfair Center Lakefront District, which included the 84 acres of property located at the northeast corner of the intersection of University Boulevard and U.S. Highway 59; and

WHEREAS, by the adoption of Ordinance No. 1869 on September 18, 2012, the City Council approved a change of zoning to create a planned development district for approximately 16.42 acres of retail commercial parcel within District D of the Telfair Center Lakefront, located at the southeast corner of Wallingford Avenue and Westcott Avenue, and approved a final development plan for the PD district; and

WHEREAS, The JNL Design Group, Inc., on behalf of Costco Wholesale Corporation, is requesting an amendment to the Planned Development (PD) Final Development Plan in order to expand the number of pump stations at the fuel center; and

WHEREAS, the Planning and Zoning Commission forwarded its final report to the City Council recommending approval of the request with the modifications reflected in this ordinance; and

WHEREAS, the Planning and Zoning Commission and the City Council have each conducted, in the time and manner and after notice required by law and applicable ordinances, a public hearing on such requested amendment; and

WHEREAS, the City Council wishes to adopt a new final development plan for the entire PD, incorporating the amendment; NOW, THEREFORE;

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SUGAR LAND, TEXAS:

Section 1. That the facts and recitations set forth in the preamble of the ordinance are hereby declared true and correct.

Section 2. That the Final Development Plan as shown in Exhibit B, the Final Site Layout Plan as shown in Exhibit B-1: the Permitted Uses as shown in Exhibit B-2, and the Fuel Canopy Elevations as shown in Exhibit B-5, are approved.

Section 3. That the following Exhibits are attached to and incorporated into this ordinance:

Exhibit A: Metes & Bounds Description
Exhibit B: Final Development Plan
Exhibit B-1: Final Site Layout Plan
Exhibit B-2: Permitted Uses
Exhibit B-3: Landscape Species List
Exhibit B-4: Building Elevations
Exhibit B-5: Fuel Canopy Elevations

Section 4. That the City's official zoning map is amended to show the change in zoning district classification.

Section 5. That Ordinance No. 1869 is repealed.

APPROVED on first consideration on _____.

ADOPTED on second consideration on _____.

Joe R. Zimmerman, Mayor

ATTEST:

Thomas Harris, III, City Secretary

APPROVED AS TO FORM:

Fisher Day

Attachments:

- Exhibit A: Metes & Bounds Description
- Exhibit B: Final Development Plan
- Exhibit B-1: Final Site Layout Plan
- Exhibit B-2: Permitted Uses
- Exhibit B-3: Landscape Species List
- Exhibit B-4: Building Elevations
- Exhibit B-5: Fuel Canopy Elevations

EXHIBIT A: METES & BOUNDS DESCRIPTION

EXHIBIT A

DESCRIPTION OF ALTA/ACSM LAND TITLE SURVEY FOR COSTCO WHOLESALE CORPORATION 16.42 ACRES (715,040 SQUARE FEET)

Being 16.42 acres (715,040 square feet) of land located in the Alexander Hodge League Abstract 32, Fort Bend County, Texas, more particularly being a portion of the residue of a called 1651.239 acre tract conveyed to NNP-Keepsake, L.P., by an instrument of record in File No. 2003149525, Official Public Records of said Fort Bend County, Texas (F.B.C.O.P.R.), said NNP-Keepsake, L.P. now known as NNP-Telfair LP, by an instrument of record in File No. 2006007940, F.B.C.O.P.R., said 16.42 acres (715,040 square feet) being more particularly described by metes and bounds as follows (all bearings referenced to the Texas State Plane Coordinate System, South Central Zone, NAD 83, 1993 adjustment);

BEGINNING at a TxDOT aluminum disc found marking the most southerly corner of that certain called 0.7866 acre tract conveyed to the State of Texas, by an instrument of record in File No. 2008099470, F.B.C.O.P.R., same being the southerly line of said 1651.239 acre tract and on the northerly right,-of-way line of U.S. Highway No. 59 (width varies);

Thence, with the common line of said 1651.239 acre tract and the northerly right,-of-way line of said U.S. Highway No. 59, the following three (3) courses:

- 1) South 52° 31' 04" West, 198.61 feet to a TxDOT aluminum disc found for corner;
- 2) South 48° 12' 44" West, 187.73 feet to a 5/8-inch iron rod with cap stamped "LJA ENG" found for corner;
- 3) South 52° 31' 18" West, 461.12 feet to a point for corner, the beginning of a curve;

16.42 acres

January 13, 2012
Job No. 1800-0127A

Thence, leaving said common line, 54.98 feet along the arc of a non-tangent curve to the right, having a radius of 35.00 feet, a central angle of $90^{\circ} 00' 02''$ and a chord which bears North $82^{\circ} 28' 37''$ West, 49.50 feet to a point for corner, the beginning of a reverse curve;

Thence, 30.81 feet along the arc of a tangent curve to the left, having a radius of 500.00 feet, a central angle of $03^{\circ} 31' 49''$ and a chord which bears North $39^{\circ} 14' 31''$ West, 30.80 feet to a point for corner;

Thence, North $41^{\circ} 00' 25''$ West, 50.38 feet to a point for corner, the beginning of a curve;

Thence, 30.81 feet along the arc of a tangent curve to the right, having a radius of 500.00 feet, a central angle of $03^{\circ} 31' 49''$ and a chord which bears North $39^{\circ} 14' 31''$ West, 30.80 feet to a point for corner;

Thence, North $37^{\circ} 28' 36''$ West, 76.49 feet to a 5/8-inch iron rod with cap stamped "LJA ENG" set for corner, the beginning of a curve;

Thence, 248.02 feet along the arc of a tangent curve to the right, having a radius of 1,965.00 feet, a central angle of $07^{\circ} 13' 54''$ and a chord which bears North $33^{\circ} 51' 39''$ West, 247.85 feet to a 5/8-inch iron rod with cap stamped "LJA ENG" set for corner;

Thence, North $30^{\circ} 14' 42''$ West, 266.01 feet to a 5/8-inch iron rod with cap stamped "LJA ENG" set for corner, the beginning of a curve;

Thence, 54.62 feet along the arc of a tangent curve to the right, having a radius of 35.00 feet, a central angle of $89^{\circ} 24' 47''$ and a chord which bears North $14^{\circ} 27' 42''$ East, 49.24 feet to a 5/8-inch iron rod with cap stamped "LJA ENG" set for corner on the southerly right-of-way line of Wescott Avenue (called 80 feet wide) as shown on Wescott Avenue Phase 4 Street Dedication, a street dedication of record in Plat No. 20110182, Plat Records of said Fort Bend County, Texas, the beginning of a curve;

16.42 acres

January 13, 2012
Job No. 1800-0127A

Thence, along the southerly right-of-way line of said Wescott Avenue, 699.82 feet along the arc of a non-tangent curve to the left, having a radius of 1,390.00 feet, a central angle of $28^{\circ} 50' 47''$ and a chord which bears North $42^{\circ} 27' 43''$ East, 692.45 feet to a 5/8-inch iron rod with cap stamped "LJA ENG" set for corner;

Thence, leaving said southerly right-of-way line, South $61^{\circ} 21' 07''$ East, 457.91 feet to a 5/8-inch iron rod with cap stamped "LJA ENG" set for corner;

Thence, South $37^{\circ} 28' 56''$ East, 413.06 feet to a 5/8-inch iron rod with cap stamped "LJA ENG" set for corner on the northerly line of the aforementioned 0.7866 acre tract;

Thence, along the northerly line of said 0.7866 acre tract, South $52^{\circ} 31' 04''$ West, 68.14 feet to a 5/8-inch iron rod with cap stamped "LJA ENG" found marking the most westerly corner of said 0.7866 acre tract;

Thence, along the westerly line of said 0.7866 acre tract, South $37^{\circ} 28' 56''$ East, 40.00 feet to the POINT OF BEGINNING and containing 16.42 acres (715,040 square feet) of land.

This description prepared from a survey and plat prepared by the undersigned dated January 13, 2012.


Keith W. Monroe
Registered Professional Land Surveyor
Texas Registration No. 4797



LJA Engineering, Inc.

EXHIBIT B
FINAL DEVELOPMENT PLAN
(Costco Wholesale Corporation - Telfair Center Lakefront District)

A. Contents. This final development plan includes the following sections:

- General Provisions
- Land Uses
- Development Regulations
- Landscape and Pedestrian Circulation Regulations
- Freestanding Signs
- Building Regulations
- Additional Regulations

B. General Provisions.

1. The PD approved herein for the 16.42 acre retail commercial parcel within District D of the Telfair Center Lakefront must be constructed, developed, and maintained in compliance with this ordinance and other applicable ordinances of the City. If any provision or regulation of any City ordinance applicable in a B-2 (General Business) zoning district is not contained in this ordinance, all the regulations contained in the Development Code applicable to the B-2 zoning district in effect on the effective date of this ordinance apply to this PD as though written herein, except to the extent the City regulation or provision conflicts with a provision of this ordinance.
2. Except as otherwise provided herein, the words used in this final development plan have the meaning established by the Development Code. In this ordinance:

Members-only wholesale retail warehouse means a commercial establishment engaged in the selling of goods and merchandise, often sold in bulk, to its members and rendering services incidental to the sale of such goods.

Open Space means the portion of all land contained within the PD that is not covered by buildings, parking lots, driveways, improved pedestrian areas (outside of publicly accessible plazas), or other impermeable material.

PD means the planned development district created by this ordinance.

Pavers mean colored interlocking bricks, tiles, stones, blocks, or concrete units.

C. Land Uses.

1. Permitted land uses are identified in Exhibit B-2 *Permitted Uses*.

D. Development Regulations for the Costco Parcel – The Costco Parcel within the PD shall be developed in accordance with Exhibit B-1 *Final Site Layout Plan*, and the following development regulations:

1. Maximum height of structures:
 - (a) 40 feet above ground level
2. Building size: The commercial warehouse shall not have a floor area greater than 159,000 square feet.
3. Minimum building setbacks:
 - (a) Abutting U.S. Highway 59: 50 feet
 - (b) Abutting all other public street lot lines: 20 feet
 - (c) Other side and rear yards: None required if adjoining another building, 6 foot minimum if not adjoining.
4. Minimum parking lot setbacks:
 - (a) U.S. Highway 59 lot lines: 50 feet
 - (b) All other public street lot lines: 20 feet
 - (c) All other property lines: 10 feet
5. Paving:
 - (a) Driveways and access easements may be paved with a concrete surface or interlocking pavers supported by a 6 inch reinforced concrete tray and a sub-grade per City design standards.
6. Bicycle Parking:
 - (a) With the exception for members-only wholesale retail warehouse uses, off-street parking for bicycles shall be provided within 50 feet of each building entrance and shall include racks or other structures intended for parking bicycles. For members-only wholesale retail warehouses uses, bike racks shall be provided as shown on Exhibit B-1, *Final Site Layout Plan*.

E. Landscape and Pedestrian Circulation Regulations – This PD shall be developed in accordance with the following landscape and pedestrian circulation regulations:

1. Minimum widths for landscape buffers, continuous along:
 - (a) U.S. Highway 59: 50 feet – with the exception of the southeast portion of the 16.42 acre parcel which may be reduced to 25

- | | |
|-------------------------------|---------|
| | feet. |
| (b) Other public streets: | 20 feet |
| (c) All other property lines: | 10 feet |
2. Landscape buffers may be used for future transit stops, final location must be approved by Costco.
 3. Minimum 15% open space of lot area, inclusive of landscape buffers.
 4. Each premise shall have, located in the front yard or street side yard landscape buffer, one shade tree for each 30 feet of lot width, or portion thereof, measured along the front or street side lot line. The trees may be clustered or spaced linearly; they need not be placed evenly.
 5. Shade trees shall have a minimum 4-inch caliper and minimum 10-foot height as measured at ground level when planted.
 6. Plants shall be in accordance with Exhibit B-3 *Landscape Species List*.
 7. Sidewalks:
 - (a) Continuous sidewalks with a minimum 5-foot width shall be provided along all public roadways and internal access easements.
 - (b) Pedestrian access easement 14 foot in width shall be provided within the U.S. Highway 59 landscape buffer for possible future sidewalks.
 8. Pedestrian walkways:
 - (a) Pedestrian walkways required in this section shall meet the following criteria:
 - (i) Minimum 5-foot width;
 - (ii) Readily visible and free of encroachment by parked vehicles;
 - (iii) Paved with concrete or other masonry products differentiated from the driveway and parking areas through the use of color, texture, or materials;
 - (iv) Predominantly shaded with shade trees at one per 30 linear feet of walkway or building canopies.
 - (b) A pedestrian walkway shall be provided to connect the building entrance to the public street sidewalk. Pedestrian amenities consisting of two benches with adjacent shade tree shall be provided at the intersection of the walkway with the sidewalk.

F. Building Regulations – Buildings within the PD shall be developed in accordance with Exhibit B-4 *Building Elevations* and Exhibit B-5 *Fuel Canopy Elevations*, and with the following building regulations:

1. Buildings shall be designed in accordance with the following criteria:

- (a) Break up the horizontal and vertical building planes through offsets, changes in building materials, colors and textures, or other methods; and
- (b) Incorporate architectural details that create shade and cast shadows to provide visual relief.

2. Building finishes:

- (a) Primary Finish means an Exterior Finish consisting of brick, stone (natural, cast, or cultured-textured), textured concrete panels, stucco and glass.
 - (b) Secondary Finish means an exterior finish consisting of wood, ceramic tiles, concrete masonry units (indented, hammered, or split face concrete), and fiber cement siding. Architectural metals which meet the durability standards of the Development Code shall also be considered a Secondary Finish.
 - (c) For nonresidential and mixed use buildings, Primary Finishes shall comprise at least 70% of each façade. The remaining portion of an Exterior Wall that is not required to be constructed of a Primary Finish must be constructed of a Secondary Finish.
 - (d) The Director may approve alternative Primary or Secondary Exterior Finishes not specified in this article if the Director determines that the alternative finish is substantially equal to or better than a specified Primary or Secondary Exterior Finish in quality, durability, and appearance and the use thereof will not violate any provision of this article.
 - (e) The following building materials shall not be used as an Exterior Finish:
 - (i) Vinyl siding, wood fiber hardboard siding, oriented strand board siding, plastic, or fiberglass panels.
 - (ii) Unfired or underfired clay, sand, or shale brick.
 - (iii) Smooth or untextured surfaces.
 - (iv) Exterior Insulated Finish Systems (E.I.F.S.).
3. No single building finish material shall cover more than 80% of the front of any building.
4. All facades of an individual building and the facades of multiple buildings within a single development shall be of complementary architectural design, color and materials where facing or siding to a public street, internal access easement or pedestrian walkway.
5. Screening walls, wing walls, columns, and similar building extensions and supports shall be of complementary architectural design, color and materials as the building or structure to which they are attached.

G. Signage

1. Freestanding Signs

- (a) Fronting on U.S. Highway 59:

- | | |
|-----------------------------------|-----------------|
| (i) Maximum effective area: | 150 square feet |
| (ii) Maximum Height: | 12 feet |
| (iii) Minimum setback: | 10 feet |
| (iv) Number per feet of frontage: | 1 per 250 feet |
| (v) Maximum number of signs: | 2 |

(b) Freestanding signs must not be located with 250 feet of another freestanding sign on the same premises.

(i) Freestanding sign must not be located within 50 feet of another freestanding sign on any adjoining premises.

(c) All information on one supporting structure is counted as one sign for purposes of applying the regulations on the number of freestanding signs allowed on any one property.

(d) Exterior finishes for freestanding signs shall be primarily masonry.

(e) Additional regulations on freestanding signs within the Development Code, Section 4-24 (d) through (h), remain applicable.

H. Additional Regulations.

1. Repair bays may be oriented in any direction provided they are located a minimum of fifty feet (50') from the adjacent public right-of-way and are screened from onsite views.

2. Conditions for Fuel sales within this Final Development Plan:

(a) One site for fuel sales is allowed per the attached site layout plan.

(b) Fuel sales canopy and associated buildings shall be constructed in accordance with Exhibit B-5 *Fuel Canopy Elevations*.

(c) Lighting shall be recessed under any canopy and in fixtures throughout the site.

(d) Pump islands and dispensing positions shall be constructed in accordance with Exhibit B-1, *Final Site Layout Plan*.

(e) No outdoor speakers, except those required by law at pump stations.

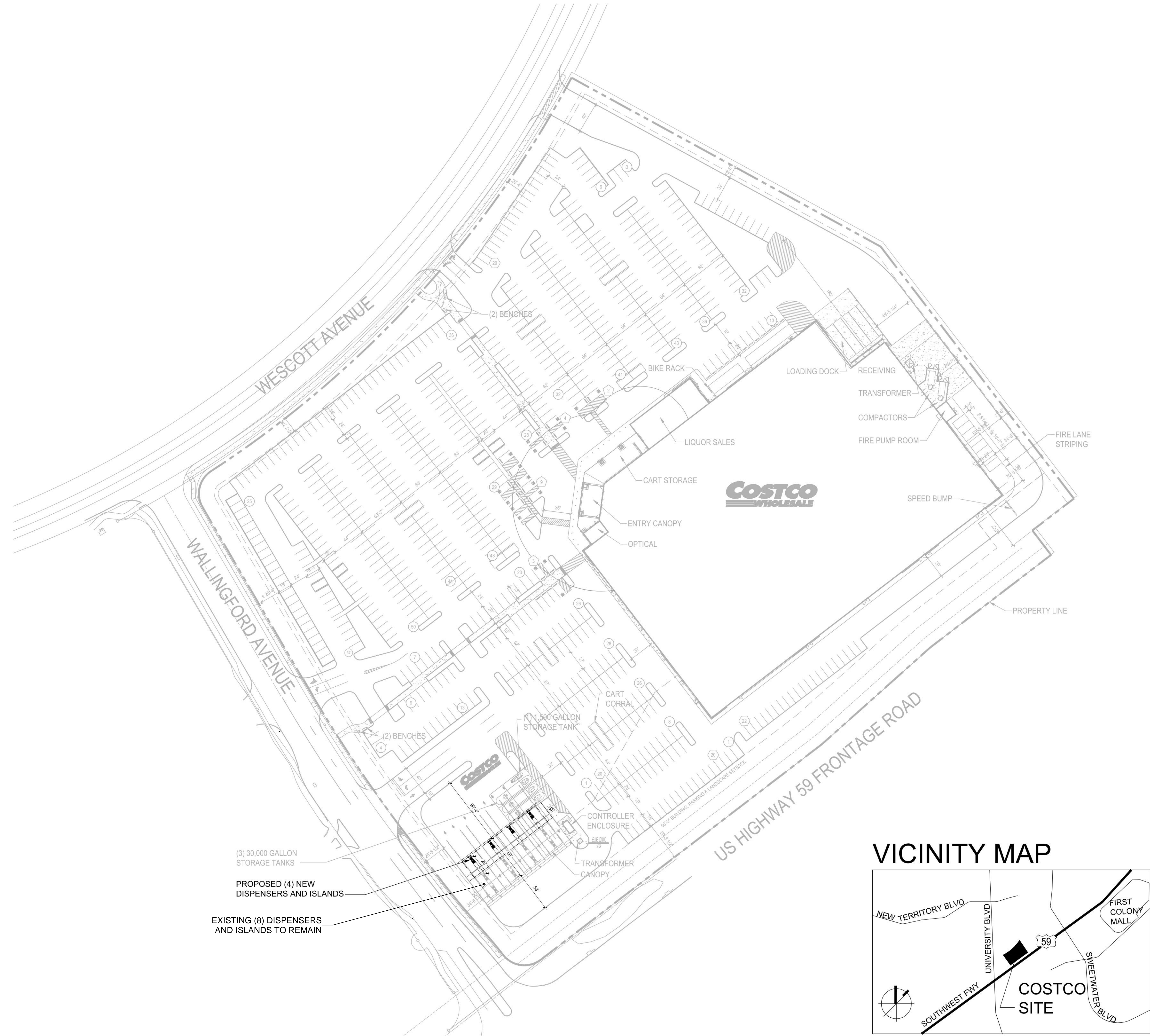
(f) Canopy column facades will be 100% brick and / or stone.

(g) Canopies shall have a pitched or mansard roof.

(h) Minimum landscape buffer shall include:

(i) Hedges at least three feet in height at time of planting screening the entire parking lot perimeter.

(ii) Trees shall have a minimum 4-inch caliper, and a minimum 10-foot height as measured from the ground level when planted.



PROJECT DATA

CLIENT: COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027
PROJECT ADDRESS: UNIVERSITY BLVD & HWY 59
SUGAR LAND, TX 77479

SITE DATA:

| | |
|---------------|---|
| SITE AREA: | 16.42 ACRES (715,034 S.F.) |
| JURISDICTION: | CITY OF SUGAR LAND |
| ZONING: | PD |
| SETBACKS: | <div><div>BUILDING</div><div>HWY 59</div><div>INTERIOR SPACE</div><div>PUBLIC ROAD</div></div> <div><div>50'</div><div>10'</div><div>25'</div></div> |
| | <div><div>PARKING</div><div>HWY 59</div><div>PUBLIC ROAD</div><div>INTERIOR SPACE</div></div> <div><div>50'</div><div>20'</div><div>10'</div></div> |
| | <div><div>LANDSCAPE</div><div>HWY 59</div><div>PUBLIC ROAD</div><div>INTERIOR SPACE</div></div> <div><div>50'</div><div>20'</div><div>10'</div></div> |
| OPEN SPACE: | 130,304 S.F. |
| BOUNDARIES | THIS PLAN HAS BEEN PREPARED |
| INFORMATION: | BY USING A SITE PLAN PROVIDED |
| | BY LJA ENGINEERING AND |
| | SURVEYING, INC. DATED 4/09 |

EXISTING BUILDING DATA:

| | |
|--------------------------|--------------|
| GROSS BUILDING AREA | |
| EXIST WAREHOUSE AREA | 147,410 S.F. |
| EXIST LIQUOR SALES | 3,980 S.F. |
| EXIST OPTICAL | 479 S.F. |
| EXIST FIRE PUMP ROOM | 385 S.F. |
| EXIST ELEC./ MECH. ROOMS | 521 S.F. |
| TOTAL | 152,775 S.F. |

EXISTING PARKING DATA:

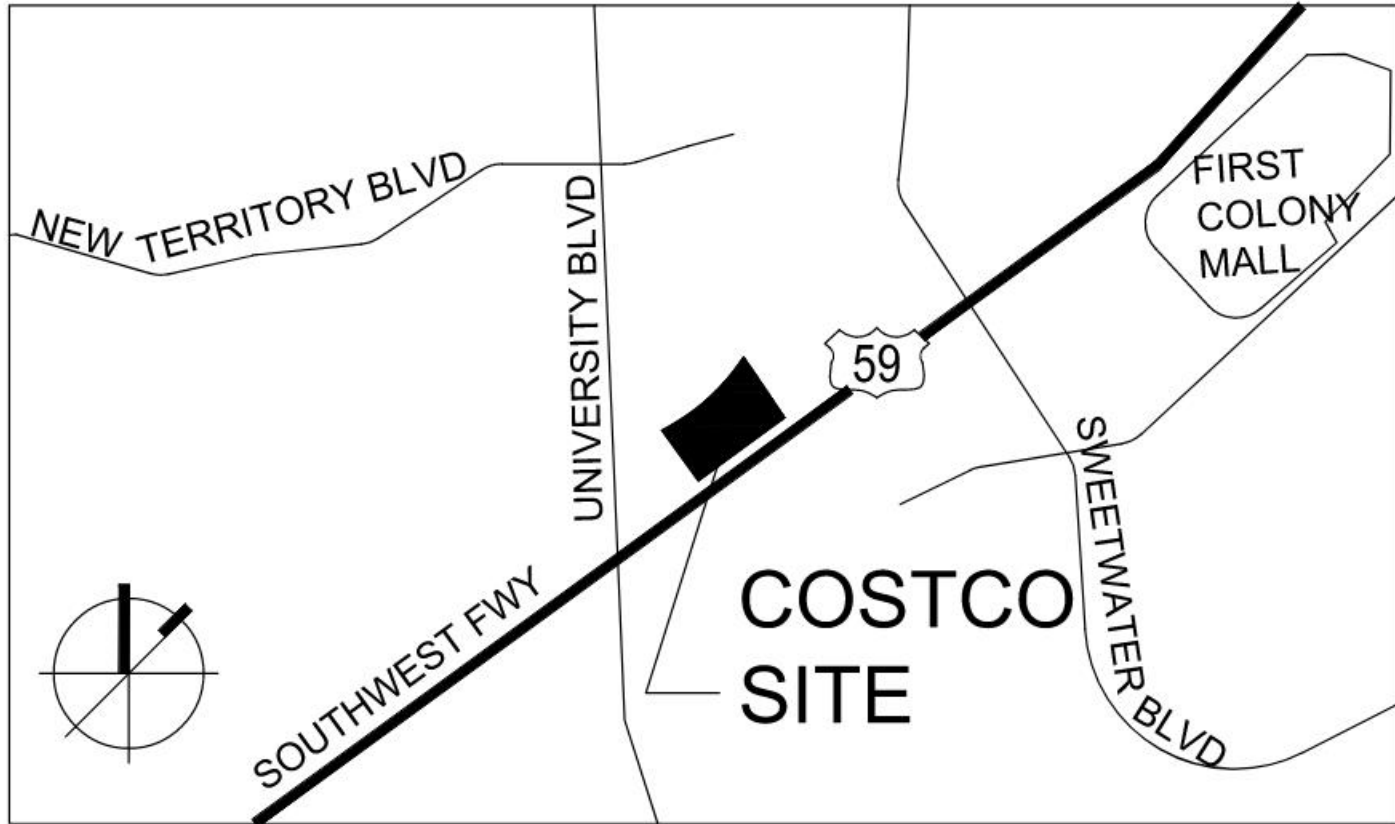
| | |
|---------------------------|------------|
| 10' WIDE STALLS | 658 STALLS |
| 9' WIDE STALLS | 85 STALLS |
| ACCESSIBLE STALLS (2 VAN) | 18 STALLS |
| TOTAL PARKING | 761 STALLS |

JURISDICTIONAL REQ'D PARKING:

| | |
|-------------------------------------|------------|
| 151,869 x (5 STALLS/1,000 NET S.F.) | |
| MINIMUM NO. OF STALLS REQUIRED | 759 STALLS |

NOTES:
EXISTING CONDITIONS TO BE FIELD VERIFIED.

VICINITY MAP

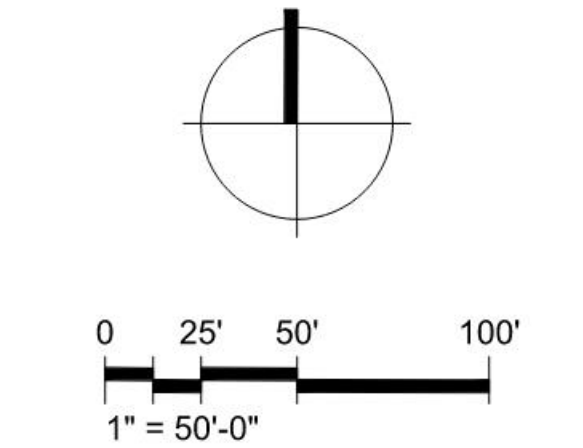


COSTCO WHOLESALE

SUGAR LAND, TEXAS

PROPOSED SITE PLAN

SEPTEMBER 26, 2022



COSTCO WHOLESALE
SUGAR LAND, TX
#1146

17520 SOUTHWEST FWY
SUGAR LAND, TX 77479
1101 Second Ave. Ste 100
Seattle, WA 98101
206.962.6500
MG2.com

MG2

09-0147-05
SEPTEMBER 26, 2022

PROPOSED
SITE PLAN

DD11-03

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EXHIBIT B -2
PERMITTED USES

| USES | SIC CODE | D | See note: |
|---|----------|---|-----------|
| United States Postal Service | 4311 | X | |
| <u>RETAIL:</u> | | | |
| Travel Agencies | 4724 | X | |
| Radiotelephone Communications | 4812 | X | |
| Telephone Communications, Except Radiotelephone | 4813 | X | |
| Telegraph and other Message Communications | 4822 | X | |
| Cable and Other Pay Television Services | 4841 | X | |
| Miscellaneous Communications Service (except equipment repair or bucket trucks on site) | 4899 | X | |
| Paint, Glass and Wallpaper Stores | 5231 | X | 1 |
| Hardware Stores | 5251 | X | |
| Retail Nurseries and Garden Stores | 5261 | X | |
| Department Stores | 5311 | X | |
| Variety Stores | 5331 | X | |
| Miscellaneous General Merchandise, only as follows: | 5399 | X | |
| Catalog Showrooms, General Merchandise, Except Catalog | | | |
| Country General Stores – Retail | | | |
| General Merchandise Stores – Retail | | | |
| General Stores - Retail | | | |
| Grocery Stores | 5411 | X | 1 |
| Convenience Stores with Gas Stations | 5411 | X | 2 |
| Meat and Fish (Seafood) Markets | 5421 | X | 1 |
| Fruit and Vegetable Markets | 5431 | X | 1 |
| Candy, Nut and Confectionery Stores | 5441 | X | |
| Dairy Products Stores | 5451 | X | |
| Retail Bakeries | 5461 | X | |
| Miscellaneous Food Stores (includes farmers' market-type stores) | 5499 | X | 1 |
| Auto Parts and Accessory Sales (no auto repair) | 5531 | X | 1 |
| Men's and Boy's Clothing Stores | 5611 | X | 1 |
| Women's Clothing Stores | 5621 | X | 1 |

EXHIBIT B -2
PERMITTED USES

| | | | |
|---|-----------|---|---|
| Women's Accessory & Specialty Stores | 5632 | X | 1 |
| Children's and Infants' Wear Stores | 5641 | X | 1 |
| Family Clothing Stores | 5651 | X | 1 |
| Shoe Stores | 5661 | X | 1 |
| Misc. Apparel & Accessory Stores | 5699 | X | 1 |
| Furniture and Home Furnishings Stores | 5712-5719 | X | 1 |
| Household Appliance Store | 5722 | X | 1 |
| Radio, Television, & Computer Stores | 5731-5736 | X | 1 |
| Eating and Drinking Places | 5812-5813 | X | |
| Drug Stores and Proprietary Stores (with or without drive-thru) | 5912 | X | |
| Wine and Liquor Stores | 5921 | X | 1 |
| Used Merchandise Stores, only as follows: | 5932 | X | |
| Antique Stores – Retail | | | |
| Book Stores, Secondhand – Retail | | | |
| Building Materials, Used – Retail | | | |
| Furniture Stores, Secondhand – Retail | | | |
| Furniture, Antique – Retail | | | |
| Glassware, Antique – Retail | | | |
| Home Furnishings, Antique – Retail | | | |
| Manuscripts, Rare – Retail | | | |
| Musical Instrument Stores, Secondhand – Retail | | | |
| Objects of Art, Antique – Retail | | | |
| Phonograph and Phonograph Record Stores, Secondhand – Retail | | | |
| Sporting Goods Stores and Bicycle Shops | 5941 | X | |
| Book Stores | 5942 | X | |
| Card and Stationery Stores | 5943 | X | |
| Jewelry Stores | 5944 | X | |
| Craft, Hobby, Toy and Game Shops | 5945 | X | |
| Camera and Photographic Supply Stores | 5946 | X | |
| Gift, Novelty and Souvenir Shops | 5947 | X | |
| Luggage and Leather Goods | 5948 | X | |
| Sewing, Needlework, and Piece Goods Stores | 5949 | X | |
| Catalog and Mail-Order Houses | 5961 | X | |
| Direct Selling Establishments | 5963 | X | |

EXHIBIT B -2
PERMITTED USES

| | | |
|--|------|---|
| Florists | 5992 | X |
| Tobacco Stores and Stands | 5993 | X |
| News Dealers and Newsstands | 5994 | X |
| Optical Goods Stores | 5995 | X |
| Miscellaneous Retail Stores (not elsewhere classified), only as follows: | 5999 | X |
| Architectural Supplies | | |
| Art Dealers | | |
| Artificial Flowers | | |
| Artists' Supply and material Stores | | |
| Autograph and Philatelist Supply Stores | | |
| Baby Carriages | | |
| Banner Shops | | |
| Candle Shops | | |
| Coin Shops (except mail-order) | | |
| Cosmetics Stores | | |
| Electric Razor Shops | | |
| Flag Shops | | |
| Gem Stones (rough) | | |
| Hearing Aids | | |
| Orthopedic and Artificial Limb Stores | | |
| Pet Food Stores | | |
| Pet Shops (no outdoor runs allowed) | | |
| Picture Frames (ready-made) | | |
| Police Supply Stores | | |
| Religious Goods Stores (other than books) | | |
| Rock and Stone Specimens | | |
| Rubber Stamp Stores | | |
| Stamps, Philatelist (except mail-order) | | |
| Stones, Crystalline (rough) | | |
| Telephone Stores | | |
| Telescopes | | |
| Trophy Shops | | |
| Typewriter Stores | | |

EXHIBIT B -2
PERMITTED USES

| | | |
|--|-----------|---|
| <u>FINANCE, INSURANCE, AND REAL ESTATE:</u> | | |
| Commercial Banks | 6021-6029 | X |
| Savings Institutions | 6035-6036 | X |
| Credit Unions | 6061-6062 | X |
| Foreign Bank and Branches and Agencies | 6081-6082 | X |
| Functions Related to Depository Banking | 6091-6099 | X |
| Federal and Federal-Sponsored Credit | 6111 | X |
| Personal Credit Institutions | 6141 | X |
| Business Credit Institutions | 6153-6159 | X |
| Mortgage Bankers and Brokers | 6162-6163 | X |
| Security and Commodity Brokers | 6211-6289 | X |
| Insurance Carriers | 6311-6399 | X |
| Insurance Agents, Brokers and Service | 6411 | X |
| Operators of Non-residential Buildings | 6512 | X |
| Operators of Apartment Buildings (off-site management only) | 6513 | X |
| Operators of Dwellings other than Apartment Buildings | 6514 | X |
| Lessors of Real Property (not elsewhere classified) | 6519 | X |
| Real Estate Agents and Managers | 6531 | X |
| Title Abstract Offices | 6541 | X |
| Land Subdividers and Developers (except cemetery) | 6552 | X |
| Offices of Bank Holding Companies | 6712 | X |
| Offices of Holding Companies (not elsewhere classified) | 6719 | X |
| Management Investment Offices, Open-End | 6722 | X |
| Unit Investment Trusts and Face-Amount Certificate Offices | 6726 | X |
| Educational, Religious, and Charitable Trusts | 6732 | X |
| Trusts, except Educational, Religious, and Charitable | 6733 | X |
| Oil Royalty Traders | 6792 | X |
| Patent Owners and Lessors | 6794 | X |
| Investors (not elsewhere classified) | 6799 | X |
| <u>SERVICES:</u> | | |
| Garment Pressing, and Agents for Laundries and Dry Cleaners - (Pressing and Pickup-Drop off Only) | 7212 | X |

EXHIBIT B -2
PERMITTED USES

| | | |
|--|------|---|
| Photographic Studios, Portraits | 7221 | X |
| Beauty Shop | 7231 | X |
| Shoe Repair Shop and Shoeshine Parlors | 7251 | X |
| Tax Return Preparation Services | 7291 | X |
| Miscellaneous Personal Services (not elsewhere classified), only as follows: | 7299 | X |
| Babysitting Bureaus | | |
| Bartering Services for Individuals | | |
| Birth Certificate Agencies | | |
| Car Title and Tag Service | | |
| Clothing Rental, except Industrial Launderers and Linen Supply | | |
| College Clearinghouses | | |
| Computer Photography or Portraits | | |
| Consumer Buying Service | | |
| Costume Rental | | |
| Dating Service | | |
| Debt Counseling or Adjustment Service to Individuals | | |
| Depilatory Salons | | |
| Diet Workshops | | |
| Dress Suit Rental | | |
| Electrolysis (hair removal) | | |
| Genealogical Investigation Service | | |
| Hair Removal (electrolysis) | | |
| Marriage Bureaus | | |
| Porter Service | | |
| Quilting for Individuals | | |
| Scalp Treatment Service | | |
| Shopping Service for Individuals | | |
| Steam Baths | | |
| Tanning Salons | | |
| Tuxedo Rental | | |
| Valet Parking | | |
| Wardrobe Service, except Theatrical | | |
| Wedding Chapels, Privately Operated | | |
| Advertising Agencies | 7311 | X |

EXHIBIT B -2
PERMITTED USES

| | | |
|---|-----------|---|
| Outdoor Advertising Services | 7312 | X |
| Radio, Television and Publishers' Representatives | 7313 | X |
| Advertising Services (not elsewhere classified), only as follows: | 7319 | X |
| Aerial Advertising | | |
| Bus Card Advertising | | |
| Circular Distributing Service | | |
| Coupon Distribution | | |
| Display Advertising (except outdoor) | | |
| Handbill Distribution Service | | |
| Media Buying Service | | |
| Poster Advertising Service (except outdoor) | | |
| Samples (distribution of) | | |
| Shopping News Advertising and Distributing Service | | |
| Sky Writing | | |
| Taxicab Card Advertising | | |
| Transit Advertising | | |
| Credit Reporting and Collection | 7322-7323 | X |
| Mailing, Reproduction, Stenographic | 7331-7338 | X |
| Services to Buildings | 7342-7349 | X |
| Medical Equipment Rental and Leasing | 7352 | X |
| Equipment Rental and Leasing (not elsewhere classified), only as follows: | 7359 | X |
| Consumer Electronics, Appliances and Home & Garden Tools | | |
| Office Machinery and Equipment | | |
| Party Supplies including Dishes, Silverware and Tables | | |
| Personal Supply Services | 7361-7363 | X |
| Computer Programming and Data Processing Services | 7371-7378 | X |
| Computer Related Services (not elsewhere classified), only as follows: | 7379 | X |
| Computer Consultants | | |
| Data Base Developers | | |
| Data Processing Consultants | | |
| Disk and Diskette Conversion Services | | |
| Disk and Diskette Recertification Services | | |
| Requirements Analysis (computer hardware) | | |
| Tape Recertification Service | | |

EXHIBIT B -2
PERMITTED USES

| | | |
|--|-----------|---|
| Miscellaneous Business Services | 7381-7384 | X |
| Miscellaneous Business Services (not elsewhere classified), only as follows: | 7389 | X |
| Agents and Brokers for Authors and Nonperforming Artists | | |
| Appraisers (except real estate appraisers) | | |
| Arbitration and Conciliation Services | | |
| Artists' Agents and Brokers (except performing artists) | | |
| Auctioneering Service on a Commission or Fee Basis | | |
| Authors' Agents and Brokers | | |
| Business Brokers (buying and selling business enterprises) | | |
| Charge Account Service (shopping plates) Collection by Individual | | |
| Check Validation Service | | |
| Cloth (cutting to length, bolting, or winding for textile distributors) | | |
| Contractors' Disbursement Control | | |
| Convention Bureaus | | |
| Convention Decorators | | |
| Copyright Protection Service | | |
| Correct Time Service | | |
| Cosmetic Kits (assembling and packaging) | | |
| Credit Card Service (collection by individual firms) | | |
| Directories, Telephone (distribution on a contract or fee basis) | | |
| Drafting Service (except temporary help) | | |
| Drawback Service, Customs | | |
| Embroidering of Advertising on Shirts, etc. | | |
| Engrossing (e.g. diplomas and resolutions) | | |
| Florists' Telegraph Service | | |
| Folding and Refolding Service (textile and apparel) | | |
| Fundraising on a Contract or Fee Basis | | |
| Handwriting Analysis | | |
| Hosiery Pairing on a Contract or Fee Basis | | |
| Hotel Reservation Service | | |
| Identification Engraving Service | | |
| Inspection of Commodities (not connected with transportation) | | |
| Interior Decorating Consulting Service (except painters and paper) | | |
| Interior Designing Service (except painters and paper hangers) | | |

EXHIBIT B -2
PERMITTED USES

Inventory Computing Service
Laminating of Photographs (coating photographs with plastics)
Lecture Bureaus
Lettering Service
Map Drafting Service
Mapmaking, Including Aerial
Message Service (telephone answering except beeper service)
Meter Readers (remote)
Microfilm Recording and Developing Service
Mounting Merchandise on Cards on a Contract or Fee Basis
Music Distribution Systems (except coin-operated)
Notaries Public
Packaging and Labeling Service (not packing and crating)
Paralegal Service
Parcel Packing Service (packaging)
Patent Brokers
Photogrammetric Mapping Service (not professional engineers)
Photographic Library Service, Still
Photography Brokers
Playwrights' Brokers
Post Office Contract Stations
Press Clipping Service
Printed Circuitry Graphic Layout
Process Serving Service
Promoters of Home Shows and Flower Shows
Radio Broadcasting Music Checkers
Radio Transcription Service
Recording Studios on a Contract or Fee Basis
Restaurant Reservation Service
Safety Inspection Service (except automotive)
Shoe Designers
Showcard Painting
Speakers' Bureaus
Styling of Fashions, Apparel, Furniture and Textiles

EXHIBIT B -2
PERMITTED USES

| | | | |
|--|-----------|---|------|
| Styling of Wigs for the Trade | | | |
| Switchboard Operation of Private Branch Exchanges | | | |
| Tax Collection Agencies (collecting for a city, county or State) | | | |
| Tax Title Dealers (agencies for city, county or State) | | | |
| Telemarketing (Telephone Marketing) Service on a Contract or Fee Basis | | | |
| Telephone Answering (except beeper service) | | | |
| Telephone Solicitation Service on a Contract or Fee Basis | | | |
| Textile Designers | | | |
| Time-share Condominium Exchanges | | | |
| Tourist Information Bureaus | | | |
| Translation Service | | | |
| Welcoming Service | | | |
| Automotive Repair Shops | 7532-7539 | X | 1, 4 |
| Car Washes (with or without fuel services) | 7542 | X | 1, 2 |
| Electrical and Electronic Repair Shops | 7622-7629 | X | |
| Watch, Clock, and Jewelry Repair | 7631 | X | |
| Re-upholstery and Furniture Repair | 7641 | X | |
| Miscellaneous Repair Shops | 7692-7699 | X | |
| Motion Picture Theaters (no drive-in) | 7832 | X | |
| Video Tape Rental | 7841 | X | |
| Dance Studios, Schools and Halls | 7911 | X | |
| Producers, Orchestras and Entertainers | 7922-7929 | X | |
| Bowling Centers | 7933 | X | |
| Physical Fitness Facilities | 7991 | X | |
| Membership Sports and Recreation Clubs | 7997 | X | |
| Amusement and Recreation Services (not elsewhere classified), only as follows: | 7999 | X | |
| Art and Music Instruction and Studios | | | |
| Gymnastics Instruction | | | |
| Handball Courts (non-membership) | | | |
| Lifeguard Service | | | |
| Martial Arts (Judo, Karate, etc.) Instruction | | | |
| Miniature Golf Courses, Operation | | | |

EXHIBIT B -2
PERMITTED USES

| | | |
|---|-----------|---|
| Racquetball Courts (non-membership) | | |
| Rental of Bicycles, Rowboats and Canoes | | |
| Schools and Camps, Sports Instructional | | |
| Scuba and Skin-Diving Instruction | | |
| Swimming Instruction | | |
| Swimming Pools (non-membership) | | |
| Tennis Clubs, Indoor and Outdoor Operation (non-membership) | | |
| Yoga Instruction and Studios | | |
| Offices and Clinics of Medical Doctors | 8011 | X |
| Offices and Clinics of Dentists | 8021 | X |
| Offices of Osteopathic Physicians | 8031 | X |
| Offices of Other Practitioners | 8041-8049 | X |
| General Medical and Surgical Hospitals | 8062 | X |
| Medical and Dental Laboratories | 8071-8072 | X |
| Home Health Care Laboratories | 8082 | X |
| Kidney Dialysis Centers | 8092 | X |
| Specialty Outpatient Facilities (not elsewhere classified) | 8093 | X |
| Office of Veterinarians (no outdoor runs or livestock permitted) | 742 | X |
| Health and Allied Services (not elsewhere classified) | 8099 | X |
| Legal Services | 8111 | X |
| Colleges, Universities, Professional Schools and Junior Colleges | 8221-8222 | X |
| Libraries | 8231 | X |
| Vocational Schools | 8243-8249 | X |
| Schools and Educational Services (not elsewhere classified), only as follows: | 8299 | X |
| Art Schools (except commercial) | | |
| Automobile Driving Instruction | | |
| Baton Instruction | | |
| Bible Schools (not operated by churches) | | |
| Ceramic Schools | | |
| Charm Schools | | |
| Civil Service Schools | | |
| Continuing Education Programs | | |

EXHIBIT B -2
PERMITTED USES

| | | |
|--|------|---|
| Cooking Schools | | |
| Curriculum Development (educational) | | |
| Diction Schools | | |
| Drama Schools | | |
| Finishing Schools (charm and modeling) | | |
| Flying Instruction | | |
| Hypnosis Schools | | |
| Language Schools | | |
| Modeling Schools (clothes) | | |
| Music Schools | | |
| Personal Development Schools | | |
| Public Speaking Schools | | |
| Reading Schools | | |
| Speed Reading Courses | | |
| Student Exchange Programs | | |
| Survival Schools | | |
| Tutoring | | |
| Vocational Counseling (except rehabilitation counseling) | | |
| Individual and Family Services | 8322 | X |
| Job Training and Related Services | 8331 | X |
| Miscellaneous Social Services | 8399 | X |
| Museums and Art Galleries | 8412 | X |
| Botanical and Zoological Gardens | 8422 | X |
| Business Associations | 8611 | X |
| Professional Associations | 8621 | X |
| Labor Organizations | 8631 | X |
| Civic and Social Organizations | 8641 | X |
| Political Organizations | 8651 | X |
| Religious Organizations | 8661 | X |
| Miscellaneous Membership Organizations | 8699 | X |
| Engineering Services | 8711 | X |
| Architectural Services | 8712 | X |

EXHIBIT B -2
PERMITTED USES

| | | |
|--|-----------|---|
| Surveying Services | 8713 | X |
| Accounting, Auditing and Bookkeeping Services | 8721 | X |
| Research and Testing Services | 8731-8734 | X |
| Management Services | 8741 | X |
| Management Consulting Services | 8742 | X |
| Public Relation Services | 8743 | X |
| Miscellaneous Business Consulting Services | 8748 | X |
| Services (not elsewhere classified), including: | 8999 | X |
| Actuaries (consulting) | | |
| Advertising Copy (writers of) | | |
| Announcers (radio and television service) | | |
| Art Restoration | | |
| Artificial Nucleation (cloud seeding) | | |
| Artist's Studios (except commercial and medical) | | |
| Authors | | |
| Chemists (consulting) | | |
| Christian Science lectures | | |
| Consultants (nuclear) | | |
| Entomologists (consulting) | | |
| Geologists (consulting) | | |
| Ghost Writing | | |
| Greeting Cards (hand painting of) | | |
| Inventors | | |
| Lecturers | | |
| Music Arrangers | | |
| Newspaper Columnists | | |
| Physicists (consulting) | | |
| Psychologists (industrial) | | |
| Radio Commentators | | |
| Sculptors' Studios | | |
| Song Writers | | |
| Stained Glass Artists | | |
| Weather Forecasters | | |
| Writers | | |

**EXHIBIT B -2
PERMITTED USES**

PUBLIC ADMINISTRATION:

| | | |
|---------------------------------------|-----------|---|
| Courts | 9211 | X |
| Police Protection | 9221 | X |
| Legal Counsel and Prosecution | 9222 | X |
| Fire Protection | 9224 | X |
| Public Order and Safety | 9229 | X |
| Finance, Taxation and Monetary Policy | 9311 | X |
| Administration of Human Resources | 9411-9451 | X |
| Environmental Quality and Housing | 9511-9532 | X |
| Administration of Economic Programs | 9611-9661 | X |

NON-CLASSIFIABLE ESTABLISHMENTS:

| | | |
|--|----|---|
| Adult Day Care | 99 | X |
| Dwellings – Single Family Attached; Townhomes | 99 | |
| Dwellings – Multi-Family | 99 | |
| Parks and Recreational Facilities, Public or Private | 99 | X |

NOTES:

1. Use not permitted within 300 feet of Telfair Lake greenbelt.
2. Conditions for Convenience Stores with Gas Stations (SIC 5411) and Car Washes (SIC 7542):
 - a. Lighting shall be recessed under any canopy and in fixtures throughout the site.
 - b. No outdoor speakers, except those required by law at pump stations.
 - c. Canopy column facades shall be 100% brick and/or stone.
 - d. Canopies shall have a pitched or mansard roof.
 - e. Minimum landscape buffer shall include:
 - i. Hedges at least three feet in height at time of planting and screening the entire parking lot perimeter.
 - ii. In addition to minimum required street trees, one additional tree shall be planted for every 50 feet of parking lot perimeter.

EXHIBIT B -2
PERMITTED USES

3. Conditions for Auto Repair Shops (SIC 7532-7539):
 - a. Repair bays shall be oriented perpendicular to the public street or access easement, and if adjacent to both, shall be perpendicular to the public street. In District D, repair bays may be oriented in any direction provided they are located a minimum of fifty feet from the adjacent public right-of-way and are screened from offsite views.
 - b. No overnight parking or outside storage of damaged, inoperable or junked vehicles, as defined by the Code of Ordinances, is permitted.
 - c. No outside, overnight parking of repaired vehicles is permitted.
 - d. No outside parking or storage of recreational vehicles, as defined by the Development Code, is permitted.
 - e. No outdoor speakers are permitted.
 - f. Minimum landscape buffer shall include:
 - i. Hedges at least three feet in height at time of planting, screening the entire fleet vehicle parking lot perimeter.
 - ii. In addition to minimum required street trees, one additional tree shall be planted for every 50 feet of parking lot perimeter. Trees shall have a minimum 4-inch caliper, and a minimum 10-foot height as measured from the ground level when planted.
4. No more than one dry cleaner (SIC 7212) per District A, B and D.
5. For dry cleaners, rear doors must be screened by masonry screening walls that are a minimum of 6 feet in height.

EXHIBIT B-3
LANDSCAPE SPECIES LIST

LARGE SHADE TREES:

- *Quercus virginiana* / Live Oak
- *Quercus macrocarpa* / Burr Oak
- *Ulmus crassifolia* / Cedar Elm

MEDIUM SHADE TREES:

- *Fraxinus texensis* / Texas Ash
- *Liquidambar styraciflua* / Sweetgum
- *Pistacia chinensis* / Chinese Pistache
- *Ulmus parvifolia* 'Drake' / Drake Elm

SMALL ORNAMENTAL TREES:

- *Cercis Canadensis texensis* / Texas Redbud
- *Chilopsis linearis* / Desert Willow
- *Lagerstroemia faurei* 'Natchez' / Crape Myrtle

CONIFEROUS TREES:

- *Pinus eldarica* / Mondell Pine

LARGE SHRUBS:

- *Llex x attenuate* 'Fosteri' / Foster's Holly
- *Llex comuta* 'Burfordii' / Burford Holly
- *Nerium oleander* / Oleander

MEDIUM SHRUBS:

- *Cotoneaster glaucophyllia* / Grayleaf cotoneaster
- *Fallugia paradoxa* / Apache Plume
- *Leucophyllum* f. 'Silverado' / Texas Sage 'Silverado'
- *Pittosporum tobira* 'Varietum' / Variegated Pittosporum

SMALL SHRUBS:

- *Callisternon citrinus* / Lemon Bottlebrush
- *Rhaphiolepis indica* / Indian Hawthorne
- *Llex xomitoria* 'Nana' / Dwarf Burford Holly
- *Juniperus horizontalis* 'Bar Harbor' / Bar Harbor Juniper
- *Pittosporum tobira* 'Wheeler's Dwarf' / Wheeler's Dwarf Pittosporum

ACCENTS:

- *Agave harvardiana* / A gave
- *Dasyliion wheeleri* / Desert Spoon
- *Desperaloe parviflora* / Red Yucca

ORNAMENTAL GRASSES:

- *Miscanthus sinensis* / Maiden Grass
- *Muhlenbergia capillaries* / Pink Muhly Grass
- *Nolinia erumpens* / Bear Grass
- *Pennisetum setaceum* / Fountain Grass

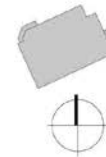
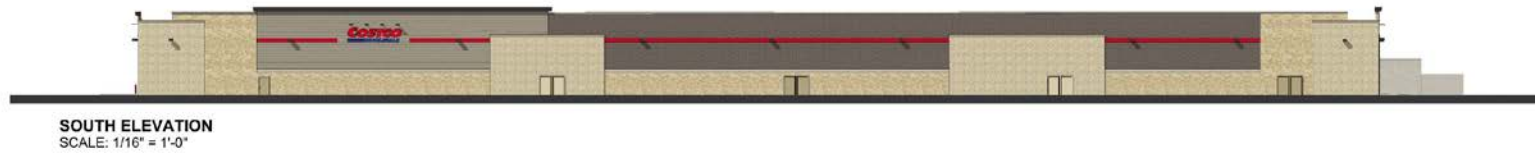
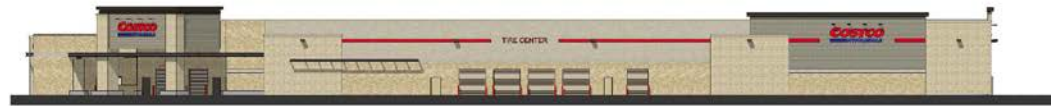
PERENNIALS:

- *Gaillardia* / Blanket Flower
- *Hemerocallis* / Daylily
- *Salvia farinacea* / Mealy Blue Sage
- *Coreopsis verticillata* / Coreopsis

GROUND COVERS:

- *Trachelospermum asiaticum* / Asiatic Jasmine
- *Festuca glauca* / Blue Fescue
- Sodded Lawn Areas – Bermuda or approved
- Rough Seeded Areas – Localized Native seed blend
- Decorative Rock Mulch – washed unfractured river rock and washed cobbl

EXHIBIT B-4 BUILDING ELEVATIONS



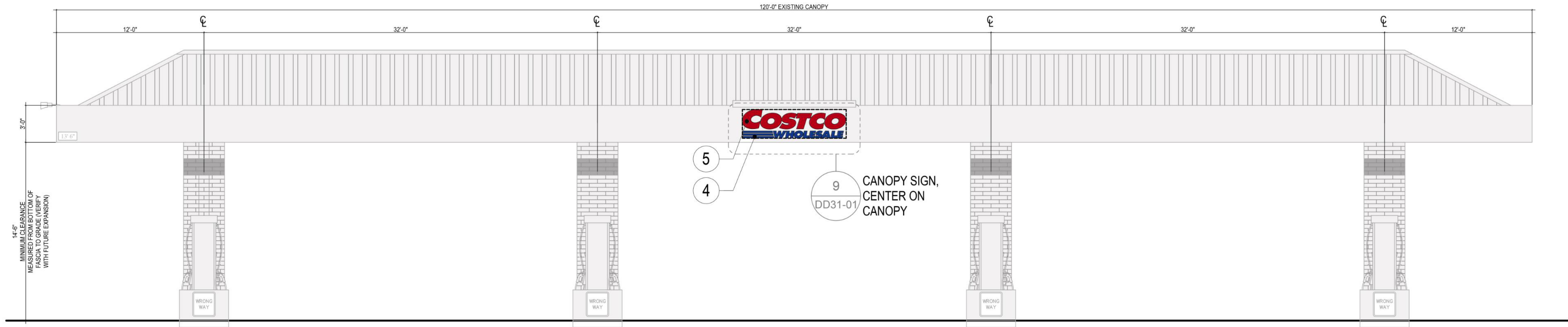
| NORTH ELEVATION SIGNAGE TABULATION - 14,394 SF | | | |
|--|-------------------|----------------------|-------------|
| ALLOWABLE: | | PROPOSED: | |
| COSTCO WHOLESALE (OVERALL MAX HEIGHT 5'-4") | | 118 SF | |
| WALL SIGNS | 300 SF MAX OR 15% | LIGNON SALES | 32 SF |
| FREE-STANDING SIGNS | 0 SF | SUB-TOTAL WALL SIGNS | 150 SF (1%) |
| TOTAL | 300 SF | FREE-STANDING SIGNS | 0 SF |
| | | TOTAL | 150 SF (1%) |

| ENTRY ELEVATION SIGNAGE TABULATION - 1,541 SF | | | |
|---|-------------------|----------------------|--------------|
| ALLOWABLE: | | PROPOSED: | |
| COSTCO WHOLESALE (OVERALL MAX HEIGHT 5'-4") | | 118 SF | |
| WALL SIGNS | 300 SF OR 15% MAX | EYE EXAMS | 40 SF |
| FREE-STANDING SIGNS | 0 SF | SUB-TOTAL WALL SIGNS | 158 SF (10%) |
| TOTAL | 300 SF | FREE-STANDING SIGNS | 0 SF |
| | | TOTAL | 158 SF (10%) |





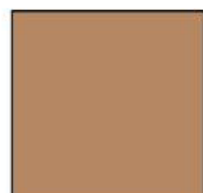

| WEST ELEVATION SIGNAGE TABULATION - 9,093 SF | | | |
|--|-------------------|----------------------|-------------|
| ALLOWABLE: | | PROPOSED: | |
| COSTCO WHOLESALE (OVERALL MAX HEIGHT 5'-4") | | 118 SF | |
| WALL SIGNS | 300 SF MAX OR 15% | TIRE CENTER | 30 SF |
| FREE-STANDING SIGNS | 0 SF | SUB-TOTAL WALL SIGNS | 148 SF (2%) |
| TOTAL | 300 SF | FREE-STANDING SIGNS | 0 SF |
| | | TOTAL | 148 SF (2%) |

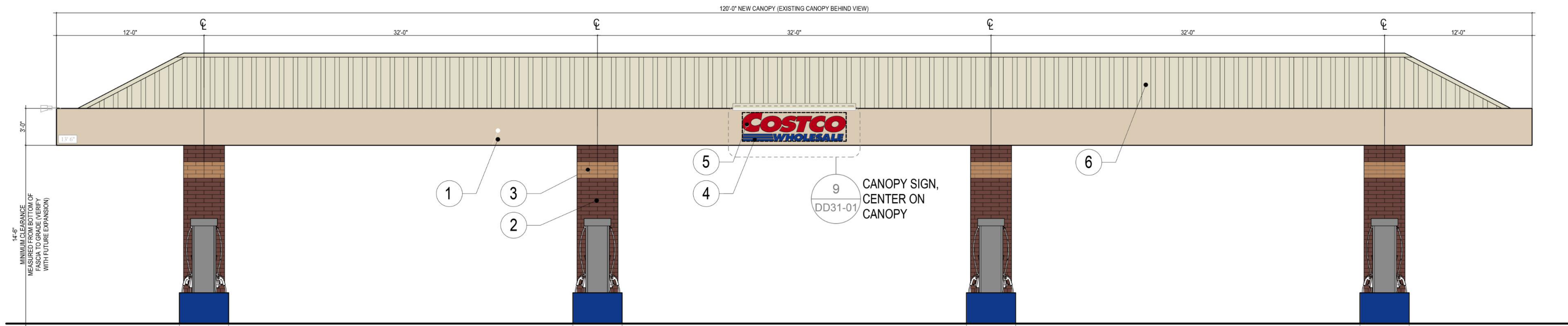
| SOUTH ELEVATION SIGNAGE TABULATION - 15,508 SF | | | |
|--|-------------------|---------------------|-------------|
| ALLOWABLE: | | PROPOSED: | |
| COSTCO WHOLESALE (OVERALL MAX HEIGHT 5'-4") | | 118 SF | |
| WALL SIGNS | 300 SF MAX OR 15% | SUB-TOTAL WALL SIGN | 118 SF (1%) |
| FREE-STANDING SIGNS | 0 SF | FREE-STANDING SIGNS | 0 SF |
| TOTAL | 300 SF | TOTAL | 118 SF (1%) |

| EAST ELEVATION SIGNAGE TABULATION - 11,526 SF | | | |
|---|-------------------|---------------------|-------------|
| ALLOWABLE: | | PROPOSED: | |
| COSTCO WHOLESALE (OVERALL MAX HEIGHT 5'-4") | | 118 SF | |
| WALL SIGNS | 300 SF MAX OR 15% | SUB-TOTAL WALL SIGN | 118 SF (1%) |
| FREE-STANDING SIGNS | 0 SF | FREE-STANDING SIGNS | 0 SF |
| TOTAL | 300 SF | TOTAL | 118 SF (1%) |

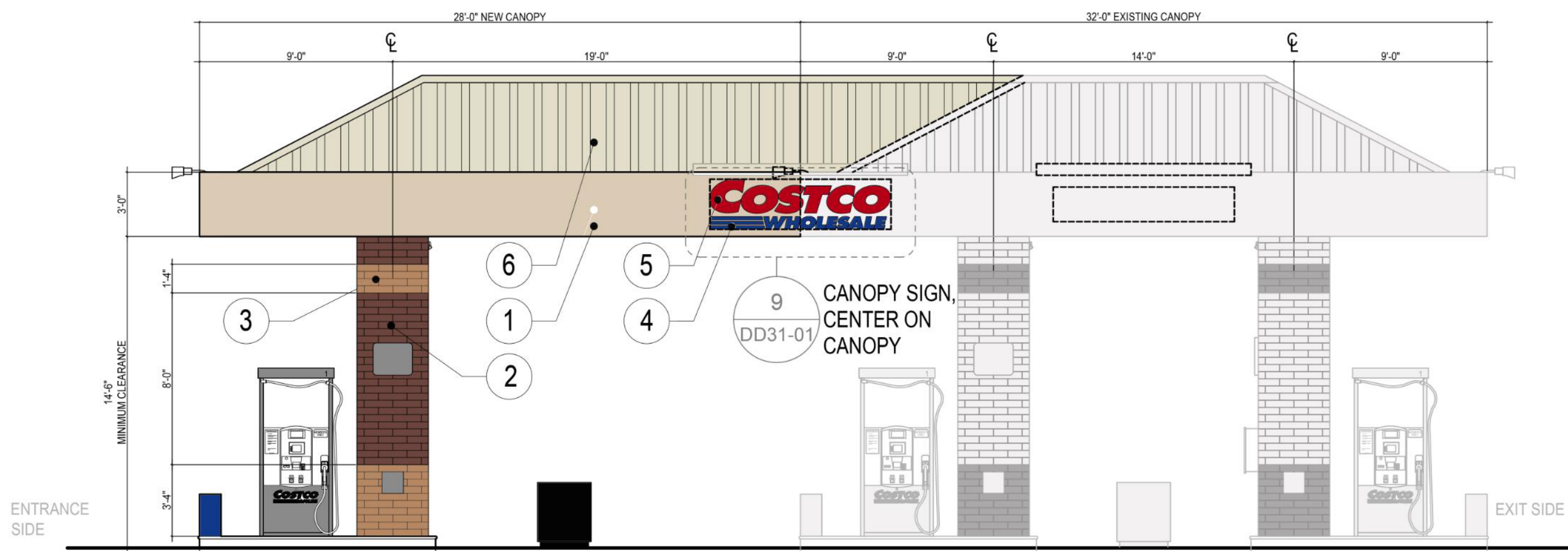


1 SOUTH ELEVATION (EXIT SIDE)
SCALE: 1/4" = 1'-0"

| MATERIALS | | | | | |
|-----------|---|---|---|--|--|
| 1 | TEXTURED METAL CANOPY TO MATCH EXISTING 'GREY BEIGE' | 4 | APOLIC FLAT ACRYLIC SIGN PANEL 'LAPIZ LAZULI' SW1805 SHERWIN WILLIAMS | | |
| |  | |  | | |
| 2 | STEEL TUBE COLUMN WITH STRUCTURAL BRICK WRAP TO MATCH EXISTING 'MARCUS' | 5 | APOLIC FLAT ACRYLIC SIGN PANEL 'SAFETY RED' SW4081 SHERWIN WILLIAMS | | |
| |  | |  | | |
| 3 | STEEL TUBE COLUMN WITH STRUCTURAL BRICK WRAP TO MATCH EXISTING 'EARTHTONE' | 6 | PRE-FINISHED METAL ROOFING TO MATCH EXISTING, MBCI COLOR 'ALMOND' | | |
| |  | |  | | |



2 NORTH ELEVATION (ENTRY SIDE)
SCALE: 1/4" = 1'-0"

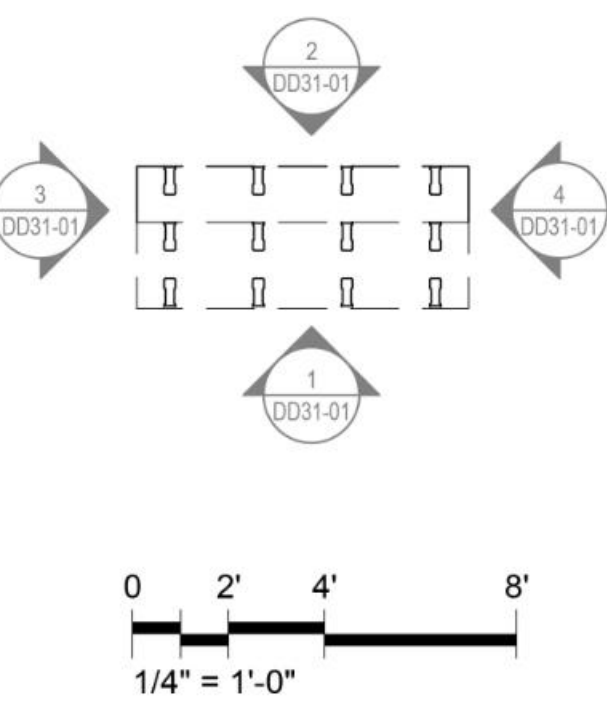


3 WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 EAST ELEVATION
SCALE: 1/4" = 1'-0"

KEY PLAN



COSTCO WHOLESALE
SUGAR LAND, TX
#1146

17520 SOUTHWEST FWY
SUGAR LAND, TX 77479

1101 Second Ave, Ste 100
Seattle, WA 98101
206 962 6500
MG2.com



09-0147-05
SEPTEMBER 26, 2022

CONCEPT
ELEVATIONS

DD31-01

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COSTCO WHOLESALE
SUGARLAND, TEXAS

CONCEPT ELEVATIONS
SEPTEMBER 26, 2022



9 CANOPY SIGN
SCALE: 1/4" = 1'-0"