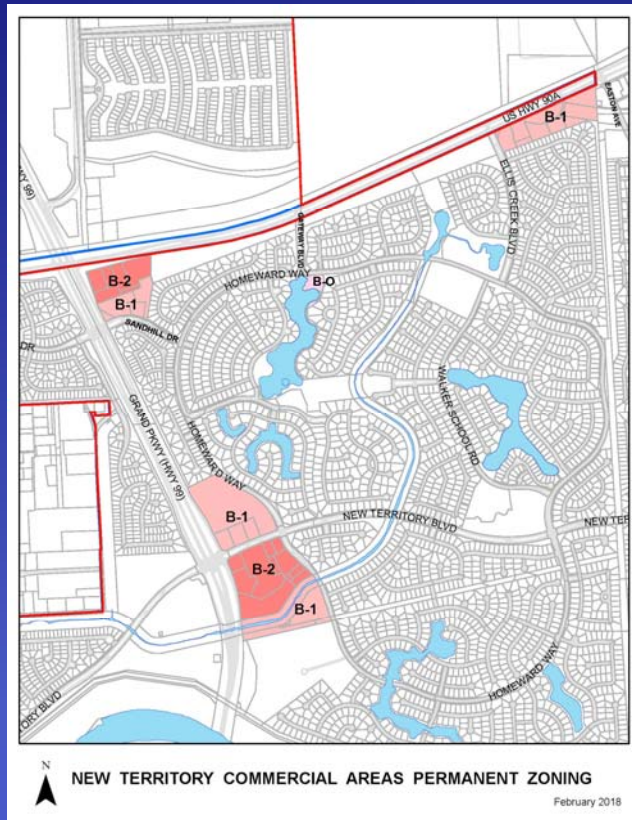


PUBLIC HEARING

**Proposed Rezoning of the New Territory
Commercial Areas Totaling Approximately 78 Acres**

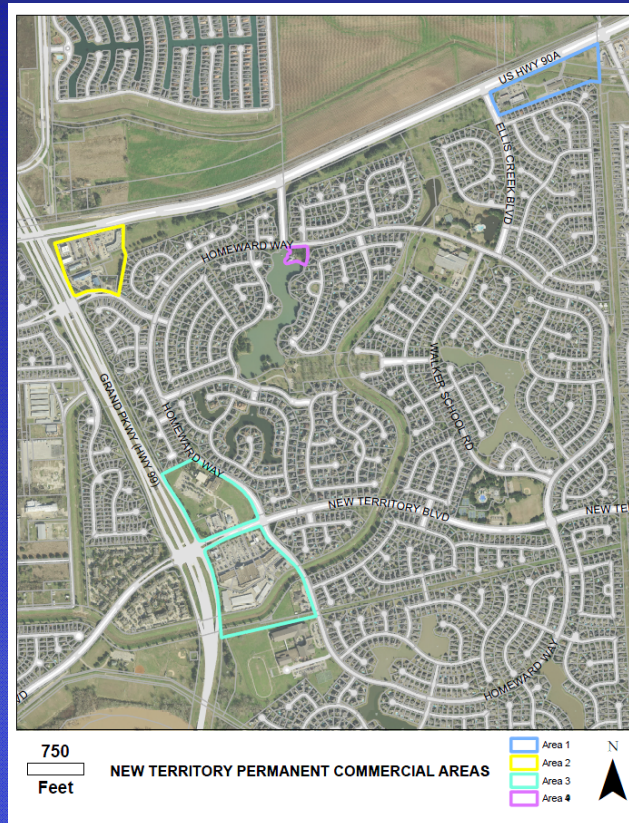
Mayra Hernandez
Planner II

Vicinity Map

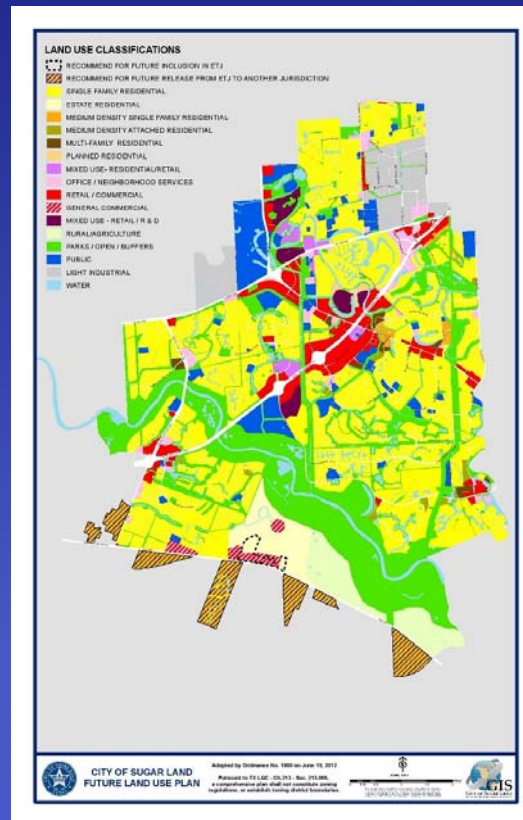


- New Territory Commercial Areas
- Annexed Dec. 12, 2017
- Current zoning: R-1-I
- Approx. 78 acres of comm. in total
- Four main commercial area locations

Aerial Photograph



Future Land Use Plan Map



Proposed Permanent Zoning

- **Need to replace temporary R-1-I with permanent zoning**
- **Doesn't alter any existing commercial development**
- **Does not impact/ change any private deed restrictions**
- **Proposed zoning categories are recommended to closely match up with existing uses that have been developed over time.**
- **Formalizes the property owner's development rights**
- **Proposed commercial zoning districts recommended by staff are based on analysis from Future Land Use Plan and field investigation at each area as to actual uses on-site**

P&Z Commission

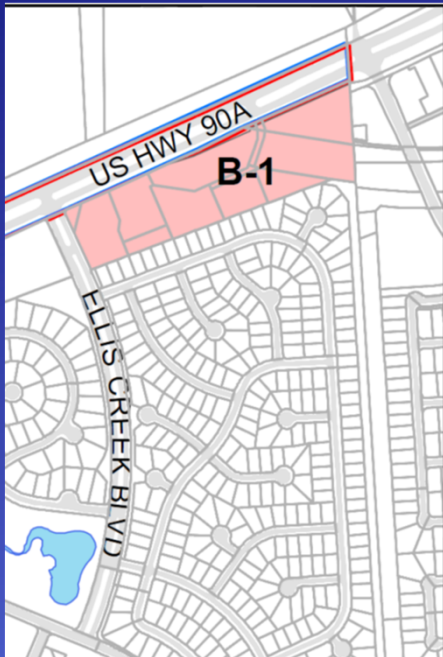
Public Hearing 02-22-18

- **No members of public spoke**
- **Commission concluded the proposed zoning districts are reasonable based on the existing uses and are in character with the surrounding neighborhoods**
- **Staff confirmed 6 informational inquiries received**

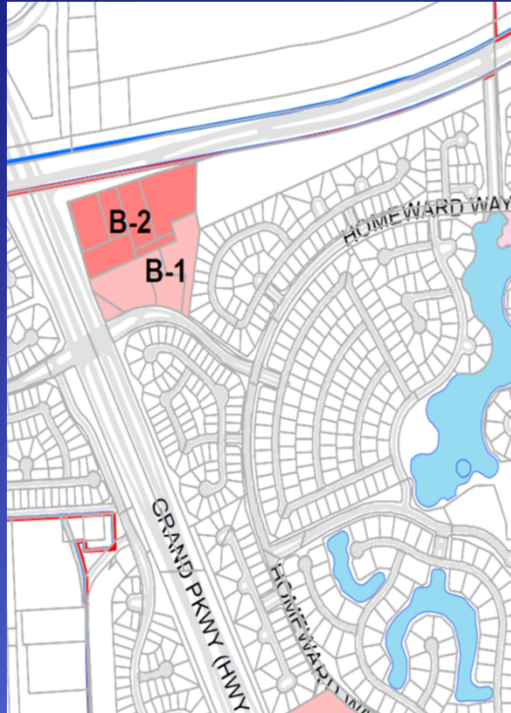
Consideration & Action 03-13-18

- **Unanimous recommendation of approval as presented by staff**

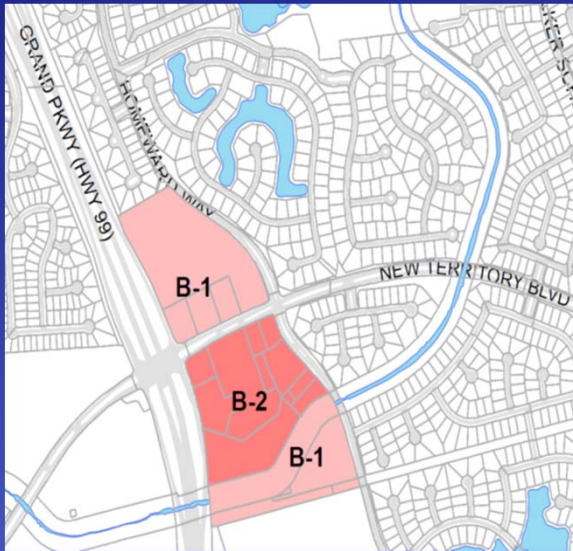
Area 1- US 90A/Ellis Creek Blvd.



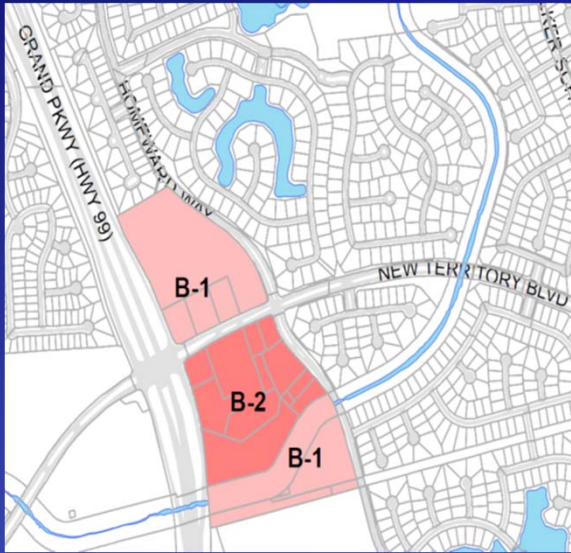
Area 2- US 90A/G. Pkwy/Sandhill Dr.

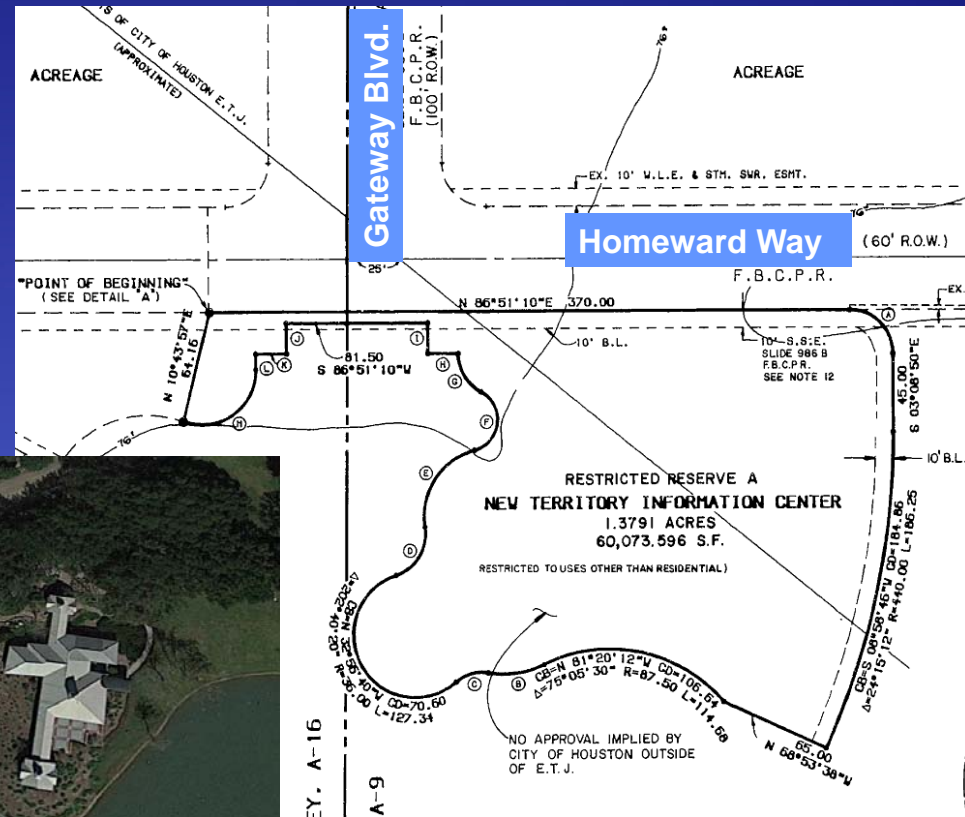


Area 3- G. Pkwy/N.T. Blvd./Homeward Way



Area 3 cont.- S. of N.T. Blvd.





Points for Consideration

- **State law does not allow annexation ordinances to assign permanent zoning at the time of annexation (only lists interim zoning), and commercial areas in need of appropriate commercial zoning**
- **Proposed B-1, B-2, and B-O zoning districts being recommended are based on closely matching up with existing uses that have been developed over time and compatibility**
- **Will be in character with the neighborhoods and balance commercial needs with residential protections, supported by overall Comprehensive Plan and the Commission**

Public Hearing

- **Notified property owners within 200-ft**
- **Published notification in newspaper**
- **Published notification on City website**
- **Notification given to the Homeowner Association and Commercial Property Owner Association**
- **Since the time of this Council public hearing posting, no inquiries have been received.**

Next Steps

- **Hold a Public Hearing**
- **1st Reading of CUP Ordinance No. 2131**
- **2nd Reading of the Ordinance at future City Council Meeting**



CITY OF SUGAR LAND

PUBLIC HEARING

ORDINANCE NO. 2131

**Proposed Rezoning of the New Territory
Commercial Areas Totaling Approximately 78 Acres**

Mayra Hernandez
Planner II



CITY OF SUGAR LAND

REPORTS

A. Council Member Reports

- ★ **Community Events Attended or Scheduled**

B. City Manager Report

- ★ **Community Events Attended or Scheduled**
- ★ **Other Governmental Meetings Attended or Scheduled**
- ★ **Council Meeting Schedule**

CLOSED EXECUTIVE SESSION

CHAPTER 551, TEXAS GOVERNMENT CODE

Economic Development: Section 551.087

**Offer of Financial or Other Incentive to
Business Prospect the City Seeks to have
Locate, Stay, or Expand in or Near the City**



NEXT CITY COUNCIL MEETING



April 24, 2018