

LEXINGTON COMMONS

This meeting is for a public hearing and first reading of the ordinance for a proposed Planned Development (PD) District – Final Development Plan (FDP) known as Lexington Commons. This request is for a change of zoning from Interim Standard Single-Family Residential District (R-1-I) to Planned Development (PD) District - Final Development Plan (FDP). The proposal consists of approximately 8.041 acres located between U.S. Highway 59 and Lexington Boulevard alongside Ditch “H”.

The proposed development consists of three office buildings, two parking garages, and limited surface parking spaces to be developed in two phases. Phase I includes two office buildings (maximum height of 35 feet) and one parking garage (maximum height of 55 feet) adjacent to Ditch “H”. Phase II includes an additional office building and parking garage at the center of the site, both with a maximum height of 90 feet. The proposed development will primarily consist of professional and medical offices, with limited retail and services on the ground floor of the office buildings and the parking garage constructed in Phase II (Parking Garage 2). The proposed FDP allows a maximum development of 269,000 square feet across the three office buildings and the ground-floor storefronts in Parking Garage 2.

The development is envisioned to be pedestrian oriented. Pedestrian walkways will be provided to connect building entrances to the parking garages and the existing sidewalk along Lexington Boulevard. The pedestrian walkways will be a minimum of five feet wide and shaded with trees or building canopies. Access from the proposed development to the trail being constructed along Ditch “H” will be via the existing sidewalk along Lexington Boulevard. The development will also include a centrally located pedestrian plaza that is a minimum of 500 square feet and includes at least two benches, two trees, and three bicycle parking spaces. Additionally, the ground-floor retail and services will provide a minimum of 60% transparency by means of storefront, entrances, and display windows in order to permit visibility between building occupants and pedestrians outside.

All facades of all buildings within the development will be of similar architectural design, color, and materials. For building façade finishes and materials, primary finishes shall consist of brick, stone (natural, cast, or cultured-textured), glass, and architecturally finished concrete panels while secondary finishes shall consist of wood, ceramic tiles, concrete masonry units (indented, hammered, or split face

Lexington Commons Final Development Plan

concrete), stucco and fiber cement siding. Primary finishes must comprise at least 85% of each building façade, while secondary finishes are limited to 15%.

The FDP includes conceptual elevations of the proposed parking garages (Exhibit B-9 and Exhibit B-10). The exterior walls of the parking garages facing Lexington Boulevard and Ditch “H” will be constructed of brick to reduce the visual impact of the structures. Shade trees will also be planted to screen the exterior walls of the parking garages that are not otherwise screened by other structures.

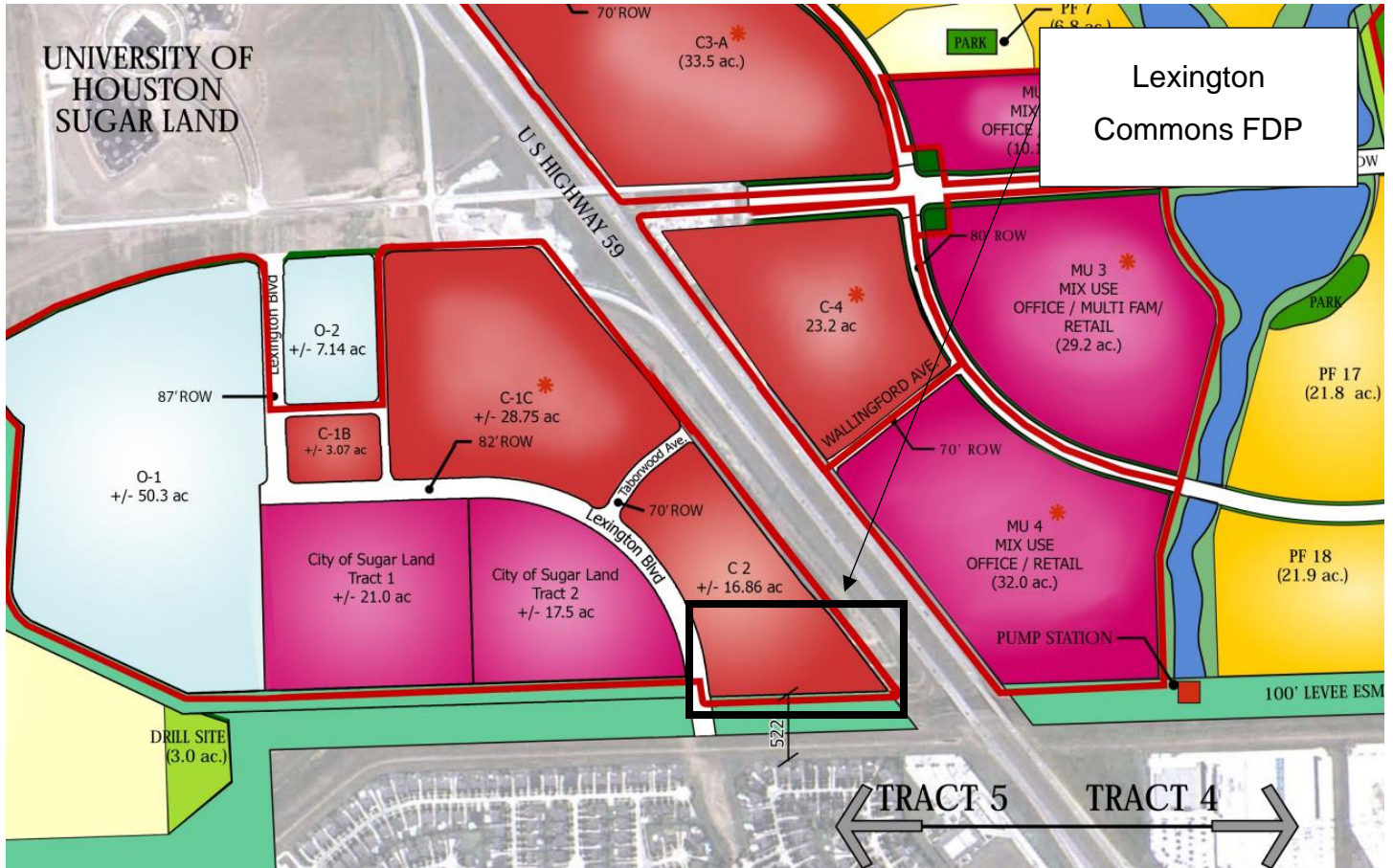
The proposed FPD includes two site layout plans (Exhibits B-2 and Exhibit B-2T). Exhibit B-2 includes two connections to Lexington Boulevard, while Exhibit B-2T includes an additional connection to the U.S. Highway 59 eastbound frontage road. Both site layouts were included in a Traffic Impact Analysis (TIA) and reviewed by staff. The TIA included recommended roadway improvements for each layout plan to accommodate the traffic generated by the proposed development, including the addition of a southbound left turn lane on Taborwood Avenue at Lexington Boulevard (Exhibit B-2) and the construction of a northbound right turn lane along the U.S. Highway 59 eastbound frontage road (Exhibit B-2T).

The proposed development aligns with the City’s Land Use Plan. The site is located in the University Boulevard Regional Activity Center (RAC). This RAC is located south of U.S. Highway 59 and includes the area known as Tract 5 and the University of Houston at Sugar Land campus. It is envisioned to be an office and entertainment centric walkable development with supporting retail. Building heights in this RAC are intended to range from low- to mid-rise, with low-rise buildings positioned at the edges adjacent to single-family residential.

The proposed development is also consistent with the Telfair General Land Plan. This site is categorized as Commercial and is identified for Planned Development District zoning on the General Land Plan.

Lexington Commons Final Development Plan

Telfair General Plan Excerpt



P&Z COMMISSION RECAP

The Planning & Zoning Commission held a public hearing at the March 11th meeting, where two members of the public spoke in favor of the proposal. Commissioners asked several clarifying questions of staff and the applicant. The questions and discussion focused on several topics, including the visibility of the office buildings and parking garages from the adjacent neighborhood, the location of the ground-floor retail and restaurants, the list of permitted uses, public sentiment at the applicant-hosted community meeting, and the future of the University Boulevard Regional Activity Center (RAC). After questions were answered, the Commission voted unanimously to recommend approval of this item to members of City Council.

PUBLIC HEARING NOTICE

The Notice of Public Hearing was published in a newspaper of general circulation and posted on the City of Sugar Land's Public Hearings webpage. All property owners within 200 feet of the subject property were notified via mailers and a courtesy public hearing sign was placed at the property. A map of properties that received mailers is included at the end of this report. The public hearing notice included a link to an online form that can be submitted to provide comments in advance of the meeting. At the time of writing this report, staff has not received any comment forms for the City Council meeting.

Notification of the public hearing was also provided to various HOAs and messaging was included on the City's NextDoor page.

The applicant team also hosted a public community meeting on February 17, 2025, at the Fort Bend County Library located on the University of Houston at Sugar Land campus where they invited residents from the surrounding neighborhoods. They shared the project details and visuals with those in attendance and answered resident questions regarding the project.



NOTICE OF PUBLIC HEARING

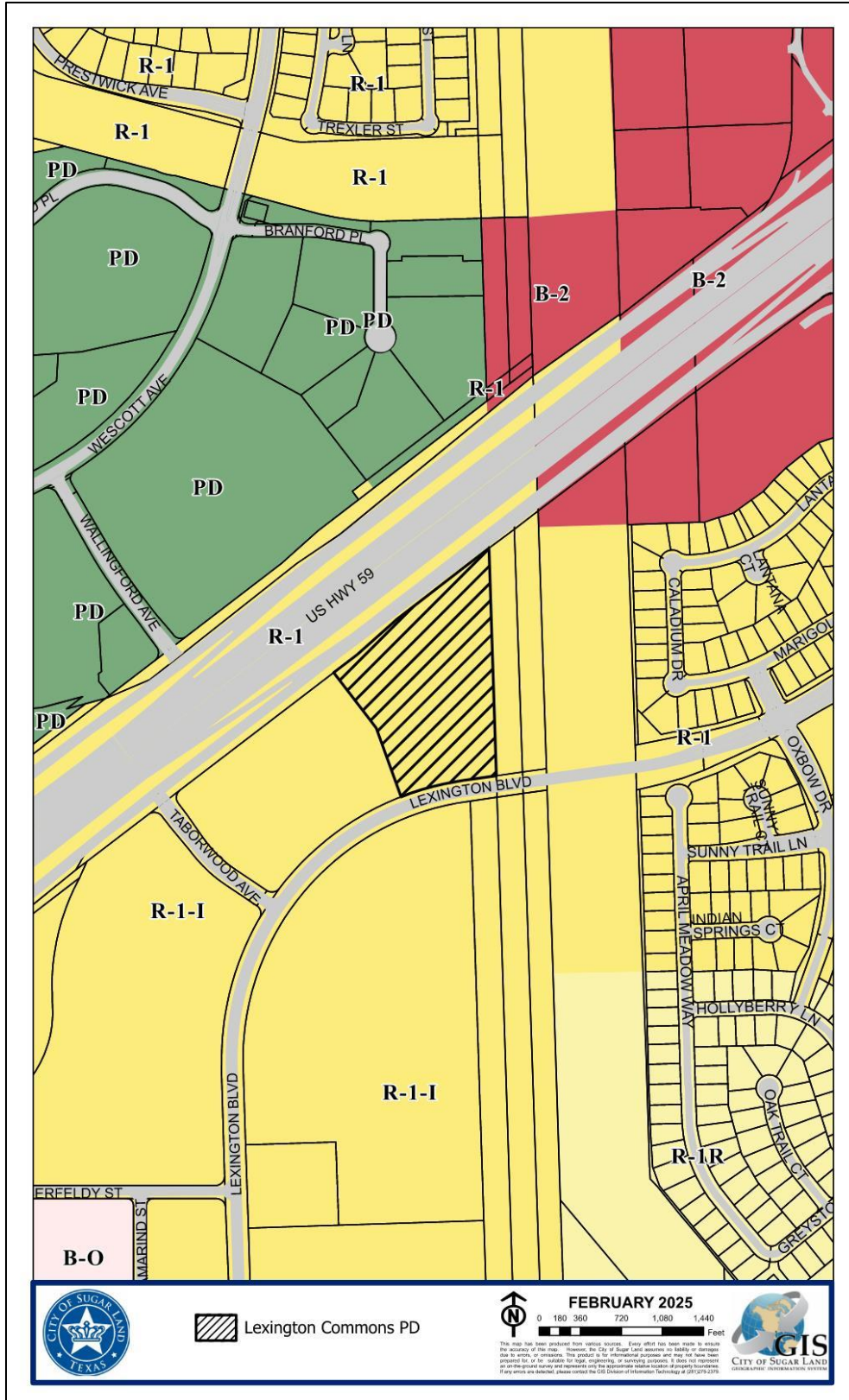
PROPOSED REZONING OF 8.041 ACRES FROM INTERIM STANDARD SINGLE-FAMILY RESIDENTIAL DISTRICT (R-1-I) TO LEXINGTON COMMONS PD - FINAL DEVELOPMENT PLAN

City Council Public Hearing 5:30 p.m., April 1, 2025, City of Sugar Land City Council Chamber, 2700 Town Center Boulevard North, hosted via live stream at <http://www.sugarlandtx.gov/1238/SLTV-16-Live-Video> or <https://www.youtube.com/sugarlandtxgov/live> and Sugar Land Comcast Subscribers can also tune-in on Channel 16, to hear all persons interested in the proposed rezoning of 8.041 acres from Interim Standard Single-Family Residential District (R-1-I) to Lexington Commons Planned Development Final Development Plan located between U.S. Highway 59 and Lexington Boulevard alongside Ditch "H", further described as 8.041 acres of land located in the Alexander Hodge League, Abstract 32, and being a portion of Tract 5, Part 5 as described in Slide No. 1655B and 1656A F.B.C.P.R.

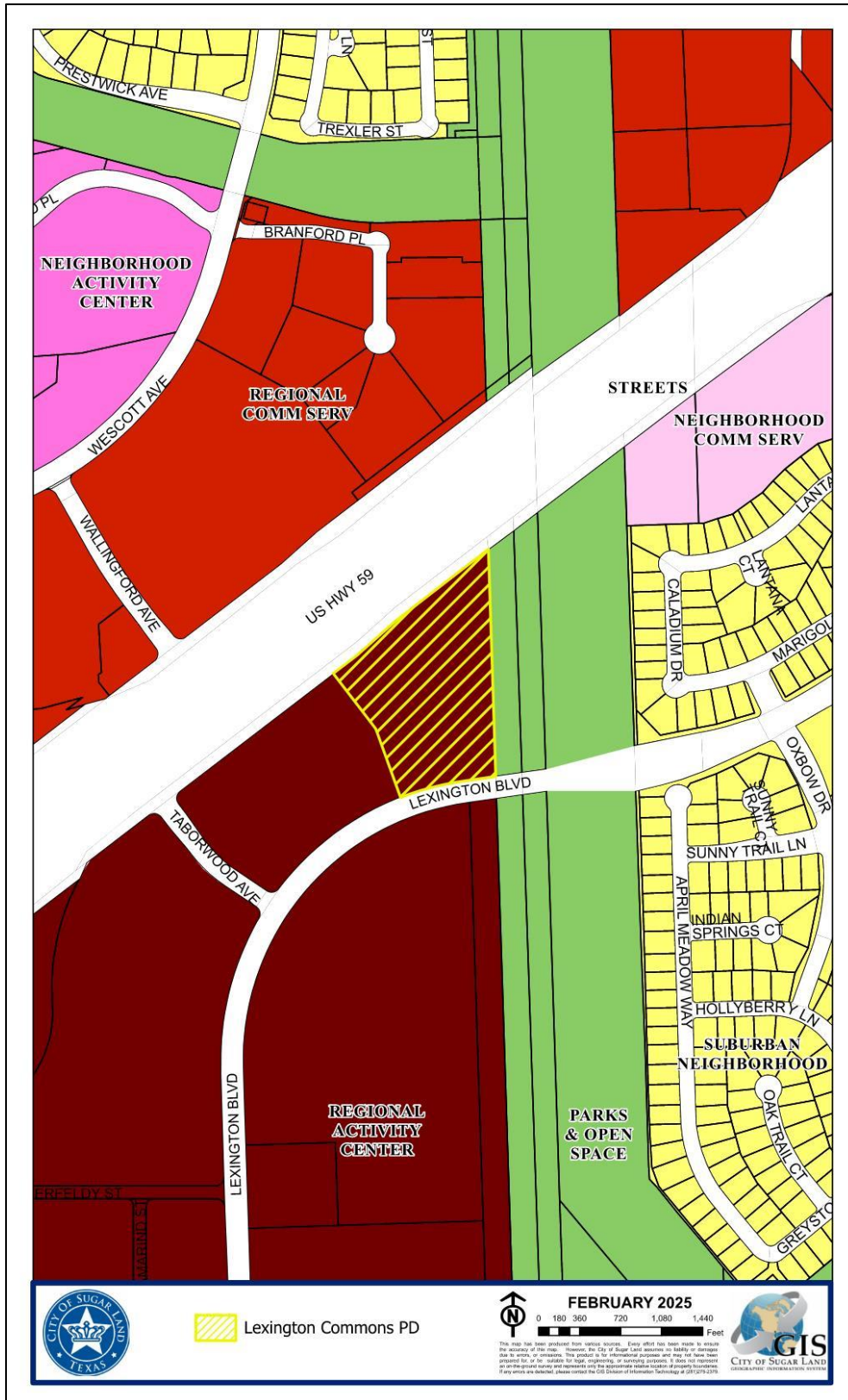
The proposed development includes three office buildings, two parking garages, and limited surface parking spaces. The proposed land uses for this development primarily focus on professional and medical offices with limited services and retail.

The agenda item for this meeting will be placed on the City of Sugar Land website at www.sugarlandtx.gov under "Meeting Agendas" City Council no later than Friday, March 28, 2025. Request details or provide feedback on the proposed rezoning online at www.sugarlandtx.gov/PublicHearingComment or contact City of Sugar Land Planning & Development Services Department at (281) 275-2218.

VICINITY MAP



FUTURE LAND USE MAP EXCERPT



 Lexington Commons PD



FEBRUARY 2025

0 180 360 720 1,080 1,440 Feet

This map has been prepared from various sources. Every effort has been made to ensure the accuracy of this map. However, the City of Sugar Land assumes no liability or responsibility for errors, omissions, or misstatements. This product is for informational purposes only and may not have been prepared for or by a licensed surveyor, engineer, or architect. It does not represent an official survey and represents only the approximate relative location of property boundaries. If any errors are identified, please contact the GIS Director at Information Technology at 281-275-5275.



PUBLIC HEARING NOTIFICATION MAP

