

STAFF REPORT

City Initiated Rezoning for the approximately 4.80-acre site located at Grants Lake Boulevard and State Highway 6 from Standard Single Family Residential (R-1) to Planned Development (PD).

GENERAL SITE INFORMATION

Adjacent Zoning	Site: Standard Single Family Residential (R-1)- Part of a larger previous R-1 area zoning North: Zero Lot Line Single Family Residential (R-1Z) South: Single Family Residential (R-1) East: Planned Development (PD) Grants Lake Tempos Section One and Single Family Residential (R-1) West: Standard Single Family Residential (R-1)
Adjacent Land Uses	Site: Existing Grants Lake Tempos Section Two Townhomes North: Residential Single Family South: Single Family Patio Homes East: Grants Lake Tempos Townhomes, Grants Lake water body and Residential Single Family West: Residential Single Family

CASE BACKGROUND & ANALYSIS

The 4.80-acre property known as Grants Lake Tempos Section Two was originally platted and developed outside the corporate limits of the City of Sugar Land in the early 1980's, with a specific townhome layout of 54 residential lots, in multiple consolidated buildings along Grants Lake Boulevard. The property was annexed into the City of Sugar Land in 1991 as a developed site. In November of 2018, a fire broke out in the neighboring property in Building 24 at the Grants Lake Tempos Section One townhome community. While reviewing building permits to reconstruct the damaged building, City Staff discovered an incompatibility between the existing zoning and the built environment, and moved forward with a City Initiated Planned Development (PD) District. After the successful rezoning of Grants Lake Tempos Section One, Staff began work on a similar PD for Grants Lake Tempos Section Two.

Unlike the Section One PD, there was not a General Contractor available to provide documents for Section Two. The documents created for this report and the Exhibits were made using the Recorded Plat and Aerial Images taken from ArcGIS and Google Earth. In addition to these limited resources, staff did several field visits to document pathways, parking, landscaping, and other features specific to the site.

The PD is essentially providing a development roadmap for reconstruction of unit lots at the site, as well as elements in the common areas such as landscaping, fencing, or paving repair/ reconstruction. Unrelated to the PD zoning, all new unit construction in the PD is required to follow the current stringent building and fire safety codes, including full sprinkler systems and firewalling. The next section lists out the proposed PD Final Development Plan (FDP) exhibits as attached to the staff report:

Exhibit A (Legal Description)

Exhibit B (Final Development Plan text document) similar to other residential PDs for townhomes such as Imperial or Lake Pointe, and contains information on allowed use, bulk regulations, common areas, landscaping, and elevations. There is not a need for a separate use exhibit as the use is single-family attached only.

Exhibit C (*Grants Lake Tempos Section Two* Recorded Plat from 1982) The plat is specific and contains all of the individual attached building lots for individual units, which are owned fee-simple with the unit and the land under it, in an overall building attaching multiple units together. The 1982 site was platted as an overall complex with considerable common areas of greenspace.

Exhibit D (Site Plan Layout) Based on the plat and depicts the parking area, driveways, common area, and all of the individual unit lots, and fencing around the perimeter.

Exhibit E (Landscape & Pedestrian Circulation) Based on the Site Plan Layout and field investigation documenting the existing trees (including “protected” trees of over 8” caliper), other landscaping, internal pedestrian circulation including width and location, and the public sidewalk at Grants Lake Boulevard.

Exhibit F1 and Exhibit F2 (Exterior Elevations) Provided by contractor for Grants Lake Section One and based on original style and finishes of Building 24 and other buildings within the complex, used since Section Two is consistent in style and identical in building finishes with Section One. Exhibit F2 also includes a photo and short description of a building type unique to Section Two that contains no rear-facing units.

Exhibit G (Plant List) Based on field investigation, documenting allowed shade trees, ornamental trees, and shrubs, based on existing trees and plants at the property.



PD Layout Shaping Criteria-

Based on the fact that the entire 4.8-acre property was designed and constructed around a specific townhome plat, the plat forms the primary document for the zoning ordinance. Typically, the Planning & Zoning Commission reviews PD proposals based on un-platted property so that the PD plans can guide the platting. Since this site is platted and developed (in accordance with that specific plat) the inclusion of the Grants

Lake Tempos Section Two plat provides a strong basis for layout and design. Exhibits D (Site Plan Layout) and E (Landscape & Pedestrian Circulation) are based on the existing development. The site consists of 54 townhome unit lots in a consolidated set of 11 buildings. These are broken out as follows:

- Building 1 (2 units)
- Building 2 (4 units)
- Building 3 (8 units)
- Building 4 (4 units)
- Building 5 (6 units)
- Building 6 (6 units)
- Building 7 (4 units)
- Building 8 (4 units)
- Building 9 (6 units)
- Building 10 (6 units)
- Building 11 (4 units)

Land use for the PD is specific to the following use listing in Chapter 2, Article II of the Development Code- *“Dwelling, Single-Family Attached (Townhome).”* As a result, there is not a need for a separate use list as typically found in a non-residential PD. Specific bulk regulations contained within Exhibit B are customized for the site, including overall setbacks. Allowances for lot coverage are also provided to allow any repair/reconstruction to occur in character with the existing development. The dwelling unit count allowance is for 54 townhome lots within 4.80 acres, which equals to a ratio of approximately 11.25 units per acre for the platted site.

Circulation & Parking-

This development is served by Grants Lake Boulevard as the adjacent public street with two points of ingress/egress from Grants Lake Blvd, there is no direct access from Hwy 6. There is an overall 28-foot wide drive aisle that circles the internal area of the complex and provides access to the buildings internally at the property. The Fire Department has examined ingress and egress to the site and determined the 28-foot wide drive aisles provide appropriate fire access. All of the existing drive aisles and parking were constructed of concrete, and the PD has a provision for repair/reconstruction to be made with either standard concrete or the ability to utilize stamped concrete if there is a desire for enhancement (with Director approval). The standard Development Code provision for paving allows for asphalt or concrete, but the PD will provide for a higher level of quality in character with the original development. Parking ratios originally included and documented on the plat of the property have been analyzed against current parking ratios for new townhome developments. Although there was a different methodology utilized in the 1982 calculations, the end result is that the site would not be out of compliance with parking ratios in the code currently.

Landscaping & Screening-

Due to the age of the development, there are a significant number of hardwood trees on the property that qualify as “protected” under the Development Code. A total of 39 Live Oak trees were over 8-inch caliper (predominantly around the perimeter of the development). In addition, there are at least 49 trees below 8-inch caliper throughout the property (mixture of species includes Red Oak, Magnolia, Crepe Myrtle) that have been documented. The PD includes custom provisions for any future tree replacement to utilize 4-inch minimum caliper trees of not less than 10-feet in height to replace protected trees and 2.5-inch minimum caliper trees of not less than 7-feet in height to replace other trees. This custom tree requirement builds on the strengths and character of the existing landscaping. A plant list (Exhibit G) has also been included,

based on plant species within the property. In addition, the property has a small existing 4-foot brick screen wall at one of the entrances, a 10-foot masonry buffer wall along the border with State Highway 6, as well as a 6-foot in height wood screen perimeter fence along the west and south property lines. These elements have been documented in Exhibit D as well as should there be any repair or reconstruction in the future. The PD also has a provision to provide masonry screening for current refuse areas at the site if paved areas adjacent to those refuse areas are proposed for reconstruction/repair in the future.

Pedestrian Circulation-

As part of the field investigation, staff documented all of the key internal sidewalks within the existing development. There is good pedestrian connectivity throughout the complex, including the ability to walk along Grants Lake Blvd at the east side of the property, and through the internal areas between buildings. Exhibit E includes the public sidewalk along Grants Lake Boulevard and the internal sidewalks within the property. Staff also noted the utilization of pedestrian scale lighting along the majority of internal sidewalks, with a height of approximately 7 to 8 feet, and spaced approximately 25 feet apart. Should there be reconstruction or removal of existing pedestrian scale lighting in the future, the PD has provisions for replacement of this important feature. These have also been documented in pictures in the Final Development Plan's Exhibit B.

Building Architectural Features-

Based on field investigation, all of the buildings within the property are fundamentally the same make-up in regards to exterior finishes, design features, stories, and height. The buildings have a second story feature, as well as pitched roofs, and a combination of brick masonry and wood siding. Provisions in Exhibit B clarify the important architectural characteristics and material for this development. In addition, there are references to Exhibit F1 and F2, which are elevation drawings showing the features and materials for the exterior of buildings as well as an image of the rear of Building 7. The rear of this building, similar to those of Bldgs. 1 and 4 does not have a second row of units, but rather a simple wall of brick veneer and Fiber Reinforced Cement Siding. New construction will have to be based on these exhibits. Staff examined covered parking structures at the property and have also documented features of the construction, including the importance of including the painted metal fascia bands along the roof lines on all four sides, should there be a need for repair or reconstruction in the future. Staff is proposing the exterior finish materials based on the 37-year history of the existing development project and the existing architectural characteristics of the site, which create a unique development in a specific PD boundary.

Comprehensive Plan and Land Use Plan-

As part of the zoning process, staff examined the principles of the Comprehensive Plan as well as the Land Use Plan. The residential products represented by the Grants Lake Tempos Section Two design and layout are supported by the Plans. Multiple areas in the Grants Lake area, including all of Grants Lake Tempos, are covered by the "Medium Density Mixed Use" category. Elements such as increased pedestrian elements, connectivity, and unique residential products are in alignment with long-term goals of the Comprehensive Plan and the related Land Use Plan in Chapter 6.

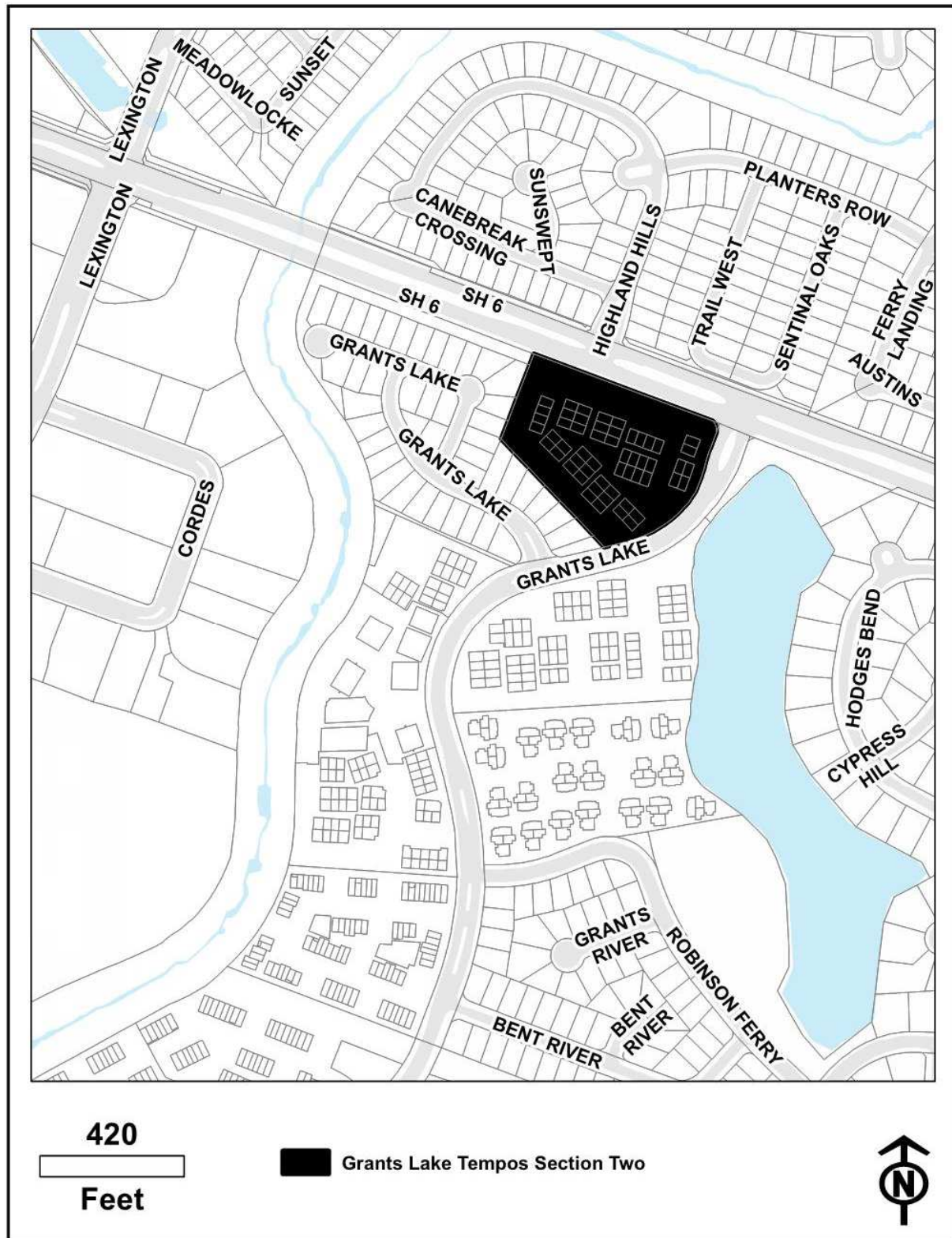
PLANNING AND ZONING COMMISSION RECAP:

The P&Z Commission held a Public Hearing on February 27, 2020, at which there were no speakers present. City Staff presented the Planned Development and discussion and direction from the Commission was to move the item forward for Consideration and Action. At the May 12, 2020 meeting, the Commission unanimously approved to recommend the Rezoning to Mayor and City Council.

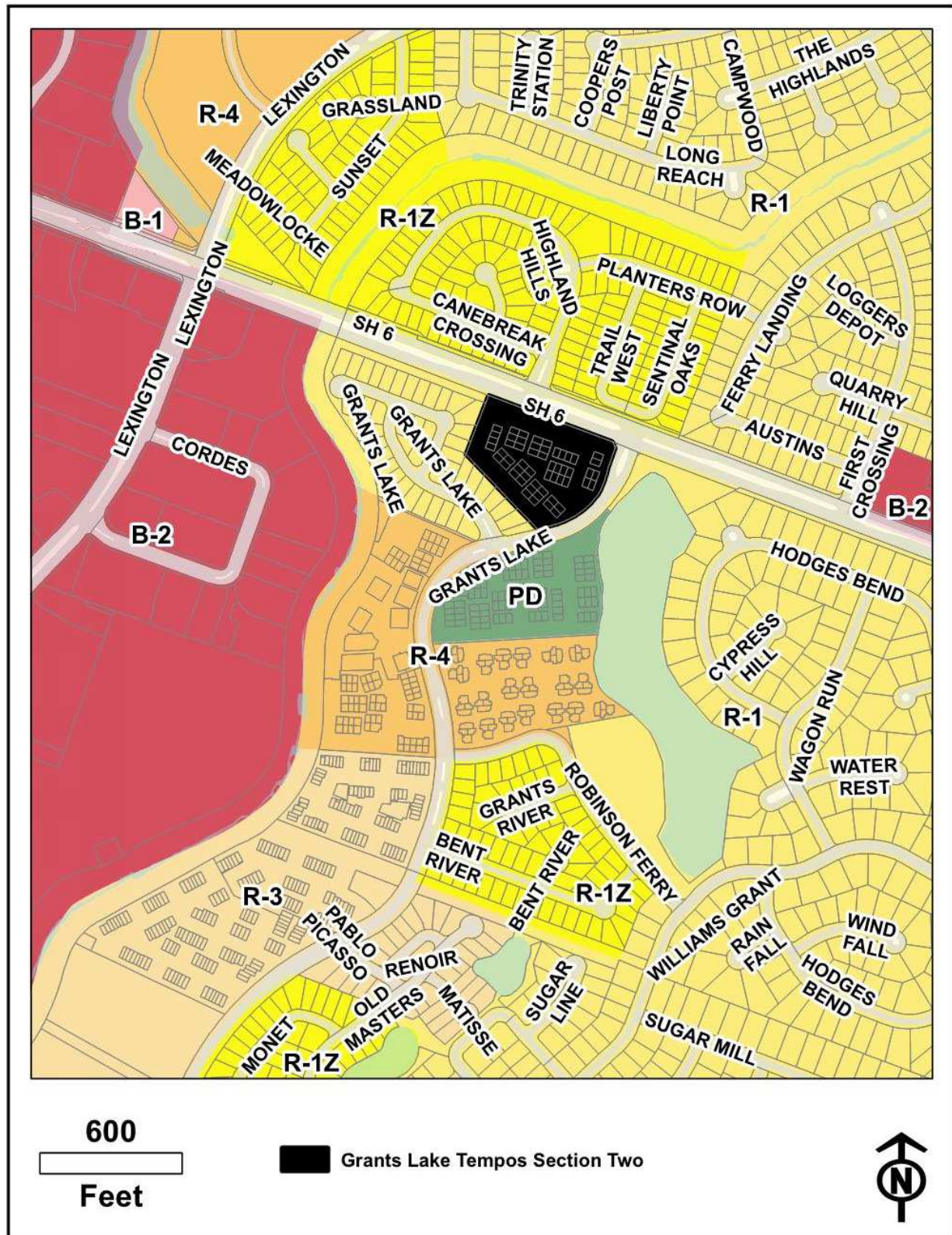
POINTS FOR CONSIDERATION:

- Following the successful rezoning of Grants Lake Tempos Section One, Staff began conducting research in order to move forward with rezoning for Section Two. The goal is to provide a roadmap for reconstruction within the overall 4.80-acre site for future repair/reconstruction if needed. As part of field investigation, staff believes that the large amount of sizable caliper protected trees, internal sidewalks, and unit layouts around large-scale greenspace at the site represent good principles of unique residential planned developments and are proposed to be codified into the PD
- The FDP includes the recorded plat that is the overall guide for any reconstruction, as well as common areas such as parking and greenspace. Staff has created a base site plan layout based on the plat and aerial images to document multiple existing conditions and features at the property that are important to codify in the PD.
- The FDP has been crafted to provide direction for addressing specific scenarios at the overall property such as protected tree removal and replacement, fencing repair and replacement, and any parking and paving reconstruction.

VICINITY MAP



ZONING MAP



AERIAL: GRANTS LAKE TEMPOS SECTION TWO (TOWNHOME COMMUNITY)

