

ORDINANCE NO. 2253

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SUGAR LAND, TEXAS, GRANTING A CONDITIONAL USE PERMIT FOR A CAR DEALERSHIP (PORSCHKE OF SUGAR LAND), LOCATED ON AN APPROXIMATELY 1.11 ACRES AT THE MARKET PLACE AT SUGAR LAND, NEAR U.S. HIGHWAY 59, PARKLANE BOULEVARD AND U.S. HIGHWAY 90-A, WITHIN THE GENERAL BUSINESS (B-2) ZONING DISTRICT.

WHEREAS, Sugar Land Real Estate LLP, on behalf of indiGO Auto Group/Pon North America, has applied for a conditional use permit for a car dealership (Porsche of Sugar Land) located on an approximately 1.11 acres in Reserve H-2A at The Market Place at Sugar Land Reserve H-2 Replat, A Replat of Restricted Reserve "H" The Market Place at Sugar Land, Slide No. 1395B, F.B.C.P.R., near U.S. Highway 59, Parklane Boulevard, and U.S. Highway 90-A, in a General Business (B-2) zoning district; and

WHEREAS, the Planning and Zoning Commission recommends the permit be approved; NOW, THEREFORE;

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SUGAR LAND, TEXAS:

Section 1. That a conditional use permit for a car dealership (Porsche of Sugar Land) is granted for the property located on an approximately 1.11 acres in Reserve "H-2A" on a plat titled The Market Place at Sugar Land Reserve H-2 Replat, A Replat of Restricted Reserve "H" The Market Place at Sugar Land, Slide No. 1395B, F.B.C.P.R. (File No. 20060195, Official Public Records, Fort Bend County, Texas), in a General Business (B-2) zoning district.

Section 2. That the permit is subject to the following conditions:

1. The site is developed in accordance with the attached Site Plan, Floor Plan, Elevations, Landscaping Plan and Vehicle Transporter Circulation Plan;
2. Garage doors on entrances must be closed when not in operation;
3. On-site collision repair of vehicles is prohibited;
4. An outside paging or sound system is prohibited;
5. Signs relating to the sales of vehicles, other than the manufacturer's dealer's invoice sticker or signs required by law shall not be allowed on automobile inventory if the vehicle is visible from a public street;
6. Truck delivery vehicles must enter and exit the site in accordance with the Vehicle Transporter Circulation Plan; and
7. The loading and unloading of vehicle inventory shall:
 - a. Only occur within the designated area as depicted on the Site Plan;
 - b. Be prohibited on the public access easements, as depicted on the Vehicle Transporter Circulation Plan; and
 - c. Directional signage, no greater than nine square feet and in conformance with the architectural treatment of the site, will be provided for vehicle transporters.

Section 3. That the premises must be developed, operated, and maintained in accordance with the ordinances of the City of Sugar Land and in accordance with the following Exhibits, attached to and incorporated into this ordinance by reference. If there is a conflict between a provision of this ordinance and a provision of the Code of Ordinances or the Sugar Land Development Code, the more stringent provision controls.

Exhibit A – Site Plan
Exhibit B – Floor Plan
Exhibit C – Elevations
Exhibit D – Landscape Plan
Exhibit E – Vehicle Transporter Circulation Plan

Section 4. That any person found guilty of intentionally violating this ordinance will be fined not more than \$2,000 for each offense.

APPROVED on first consideration on _____, 2021.

ADOPTED upon second consideration on _____, 2021.

Joe R. Zimmerman, Mayor

ATTEST:

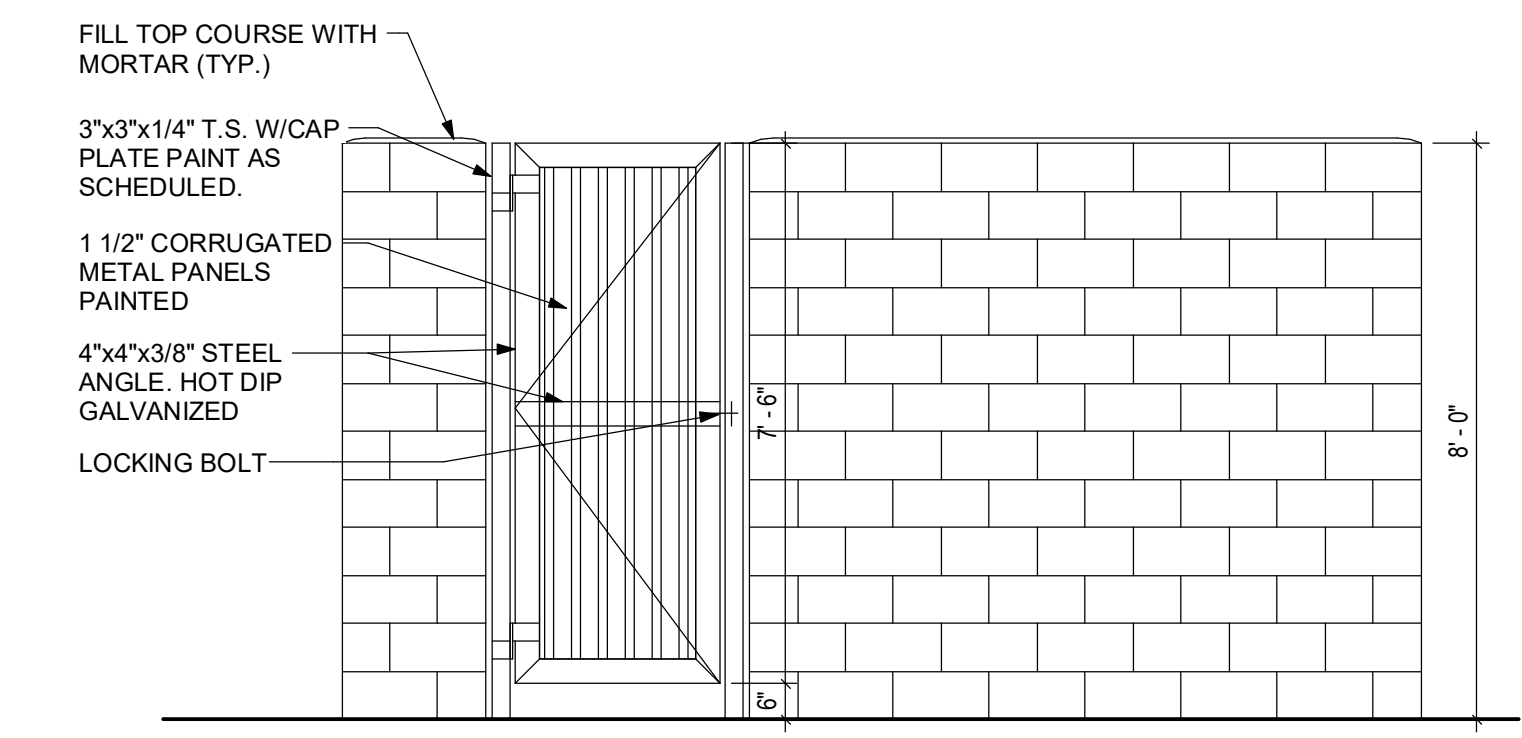
Thomas Harris, III, City Secretary

APPROVED AS TO FORM:

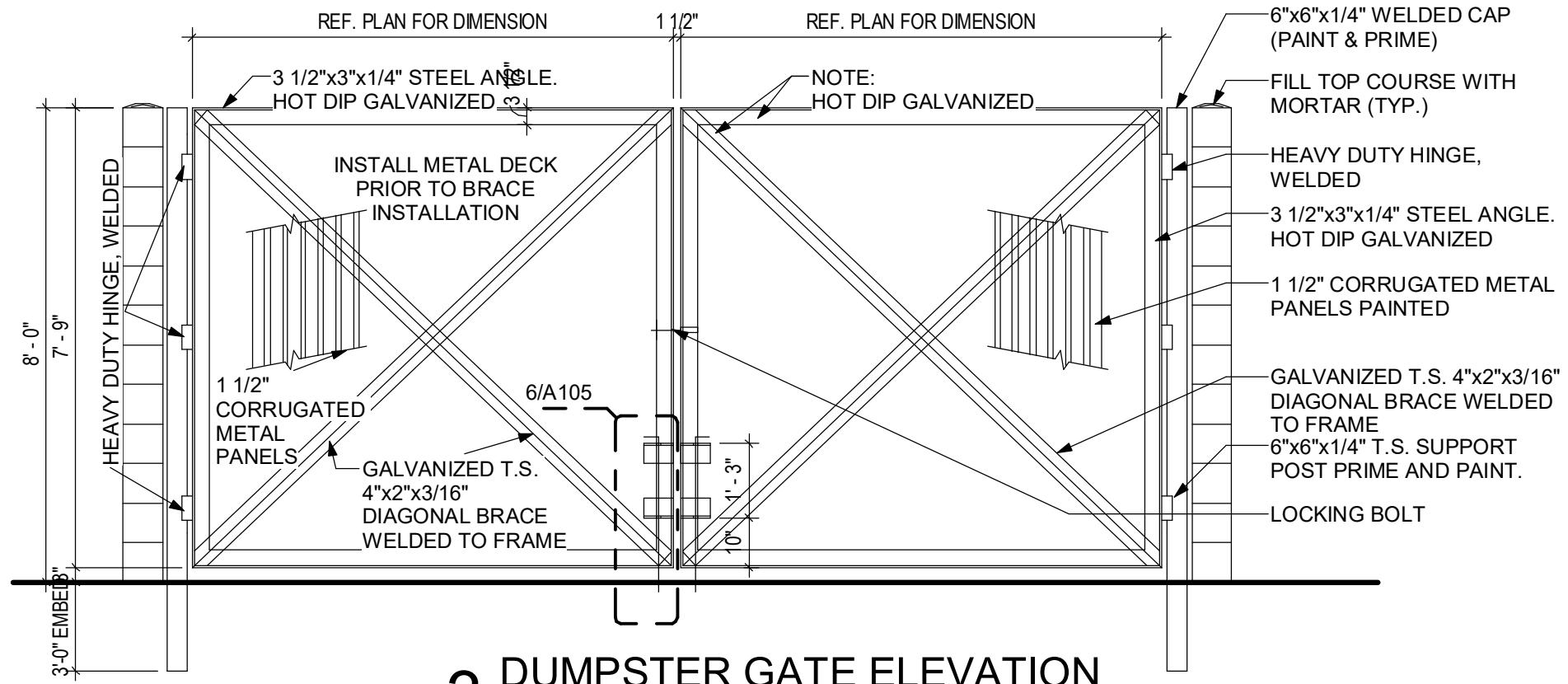


Attachments:

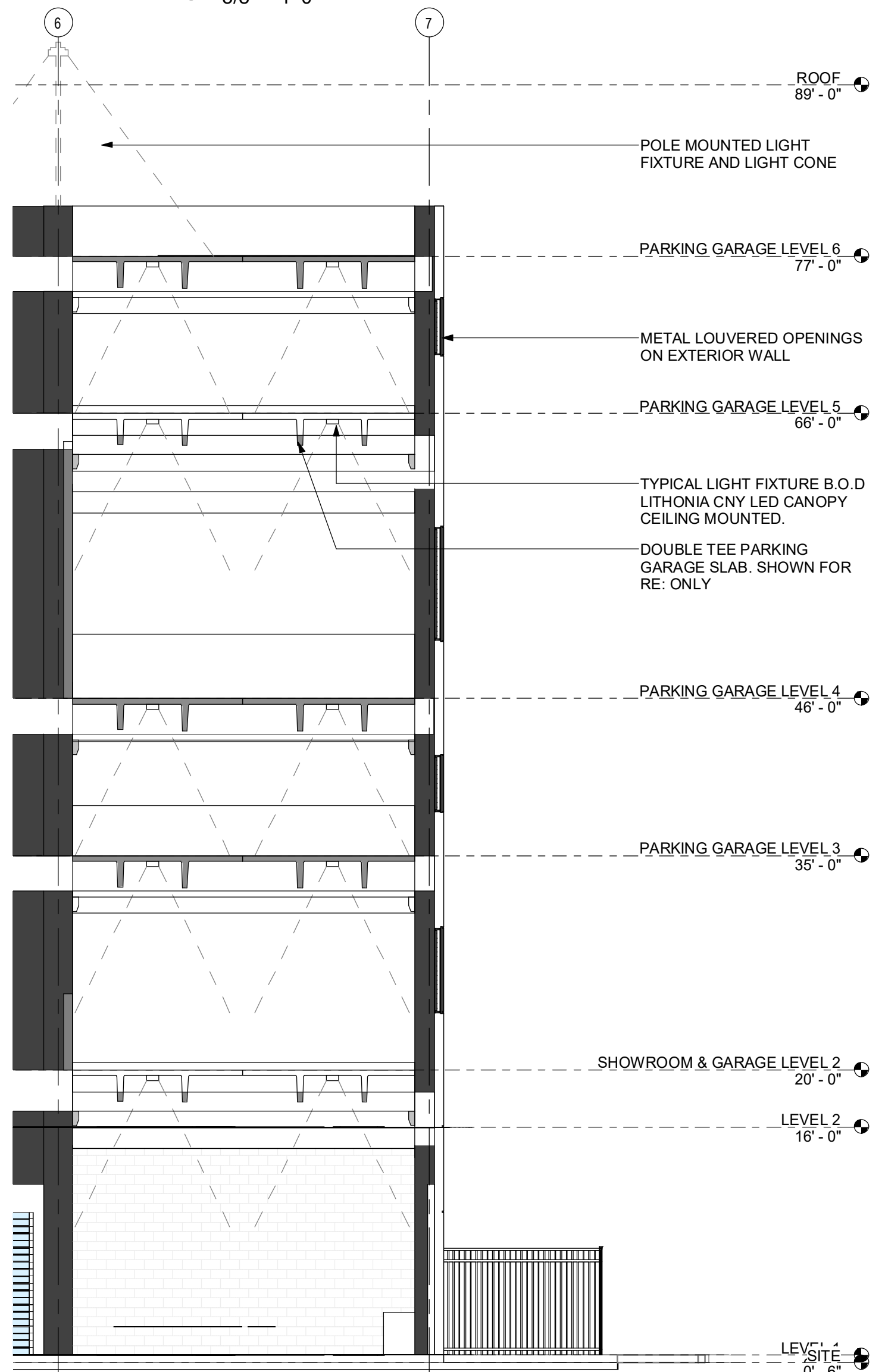
Exhibit A – Site Plan
Exhibit B – Floor Plan
Exhibit C – Elevations
Exhibit D – Landscape Plan
Exhibit E – Vehicle Transporter Circulation Plan



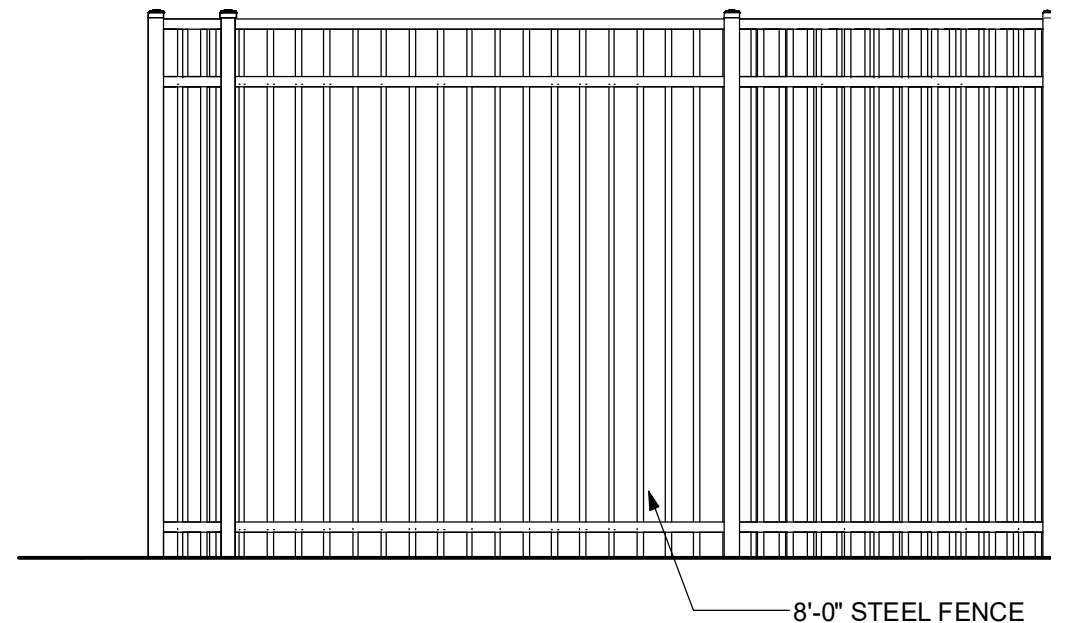
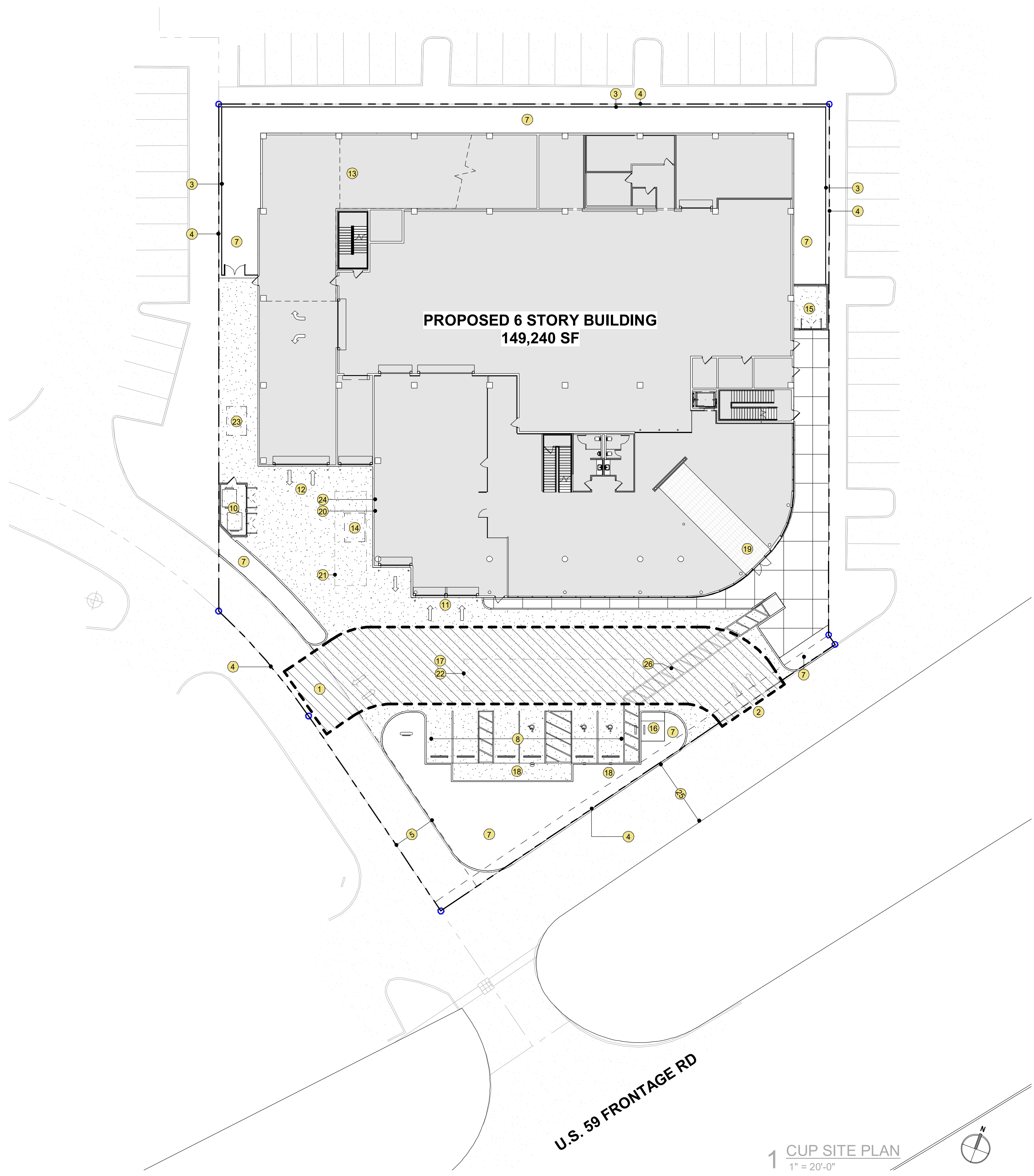
4 DUMPSTER MAN GATE ELEVATION
3/8" = 1'-0"



3 DUMPSTER GATE ELEVATION
3/8" = 1'-0"

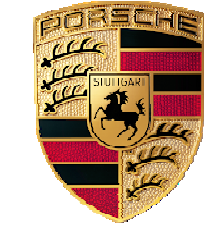
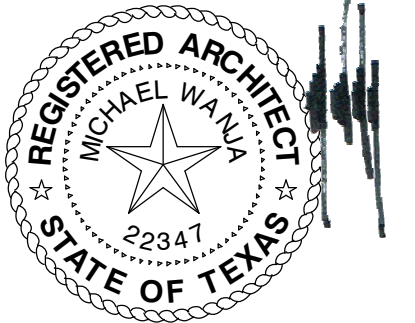


2 SECTION - CUP- LIGHTING STUDY
1/8" = 1'-0"



5 FENCE ELEVATION TYPICAL.
3/8" = 1'-0"

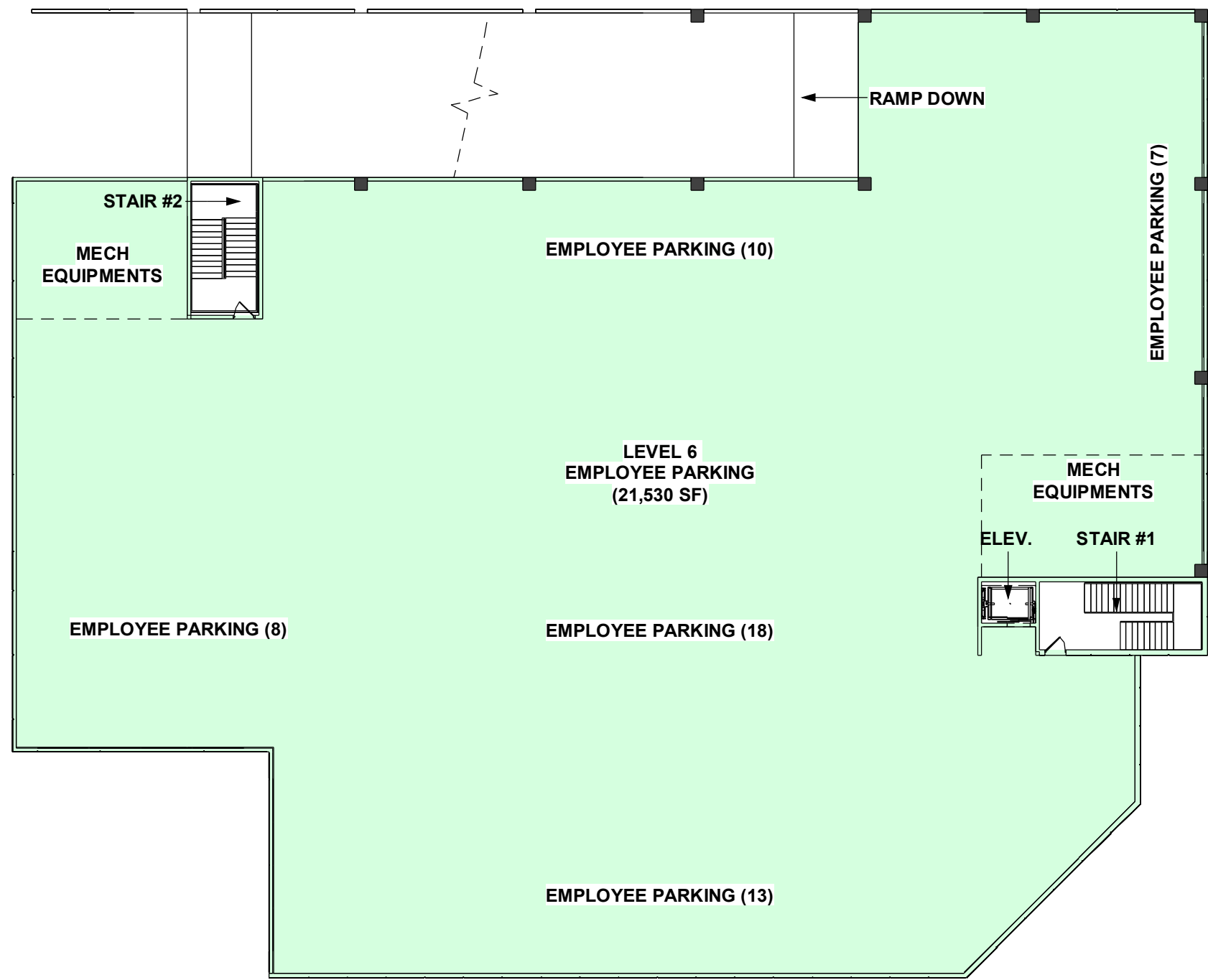
SITE PLAN NOTES	
1	ENTRANCE
2	ENTRANCE
3	96" TALL IRON FENCE
4	PROPERTY LINE
5	15 FT ACCESS EASEMENT
6	NOT USED
7	LANDSCAPE AREA. REF: LANDSCAPE SITE PLAN
8	SALES / ADA AREA PARKING - 9 FT WIDE X 18 FT LONG
9	NOT USED
10	DUMPSTER ENCLOSURE
11	CUSTOMER ACCESS FOR VEHICLE SERVICE
12	SERVICE CENTER ACCESS
13	RAMP UP TO PARKING GARAGE
14	TENTATIVE LOCATION OF UNDERGROUND FUEL TANK
15	TENTATIVE TRANSFORMER LOCATION WITH SCREEN
16	BICYCLE RACK
17	VEHICLE TRANSPORTER UNLOADING
18	EV CHARGING AREA
19	SHOWROOM CUSTOMER ENTRANCE
20	BULK OIL WALL PORT
21	BULK OIL DROP OFF
22	HAULER DROP OFF AFTER HOURS
23	SAND OIL SEPARATOR
24	FUEL DISPENSING STATION
25	30'-0" RECIPROCAL EASEMENT, SEE NOTE FROM CIVIL
26	PEDESTRIAN ACCESS WITH DIFFERENT PAVING MATERIAL IN LIEU OF PAINT STRIPES



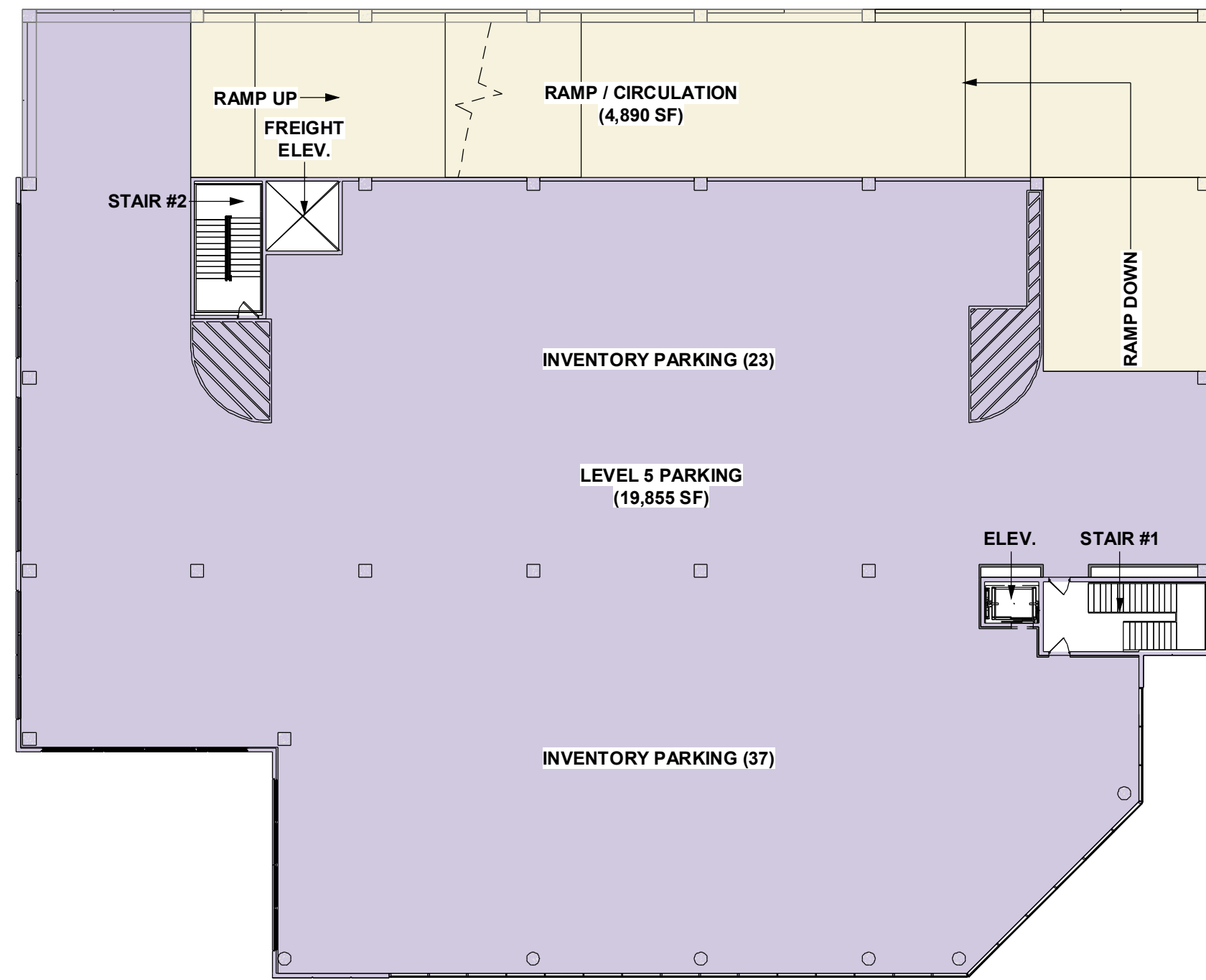
PORSCHE OF SUGAR LAND
SOUTHWEST FWY, SUGAR LAND, TX 77478

ARCHITECTURAL SITE PLAN
Exhibit A

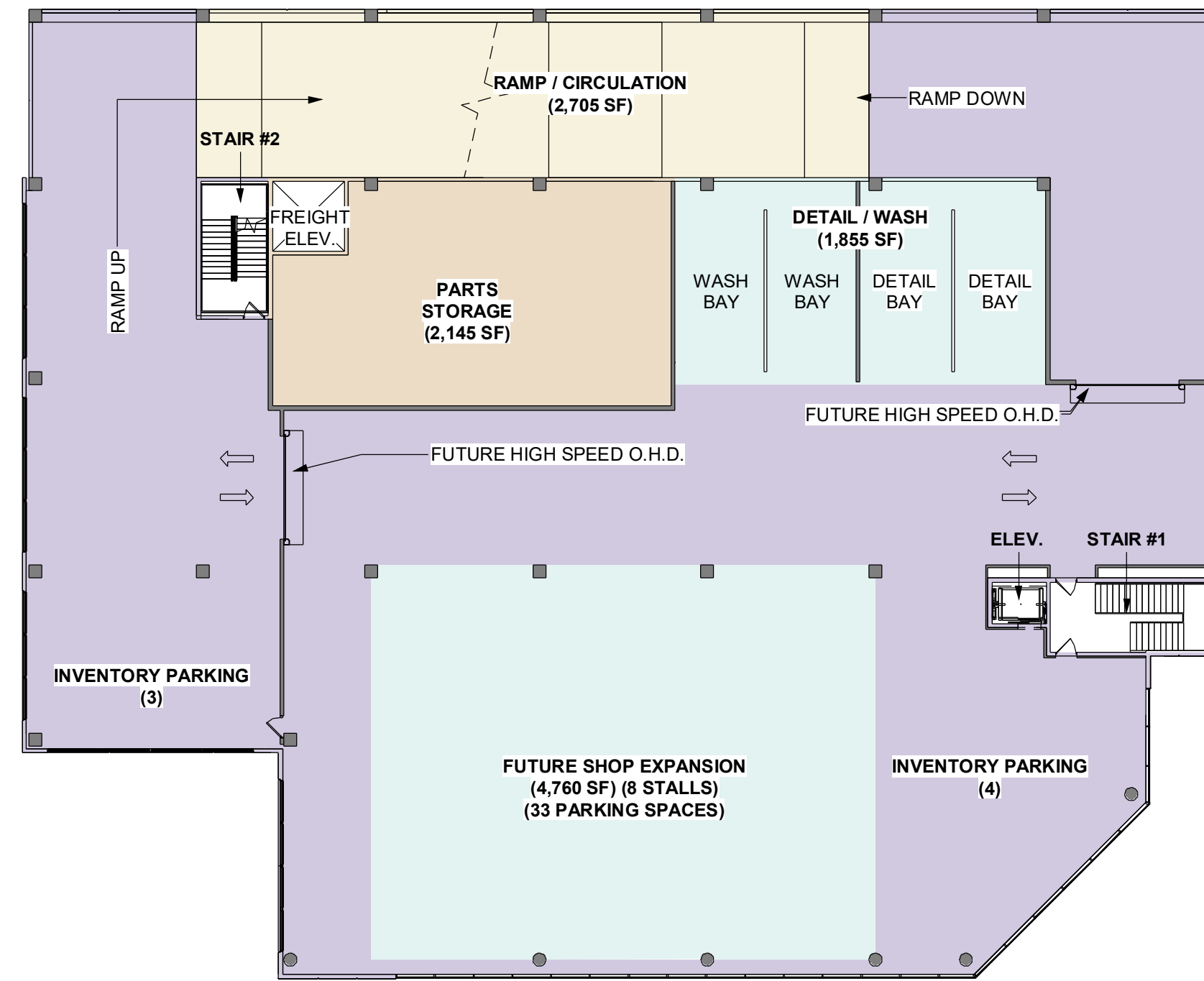
08/09/2021



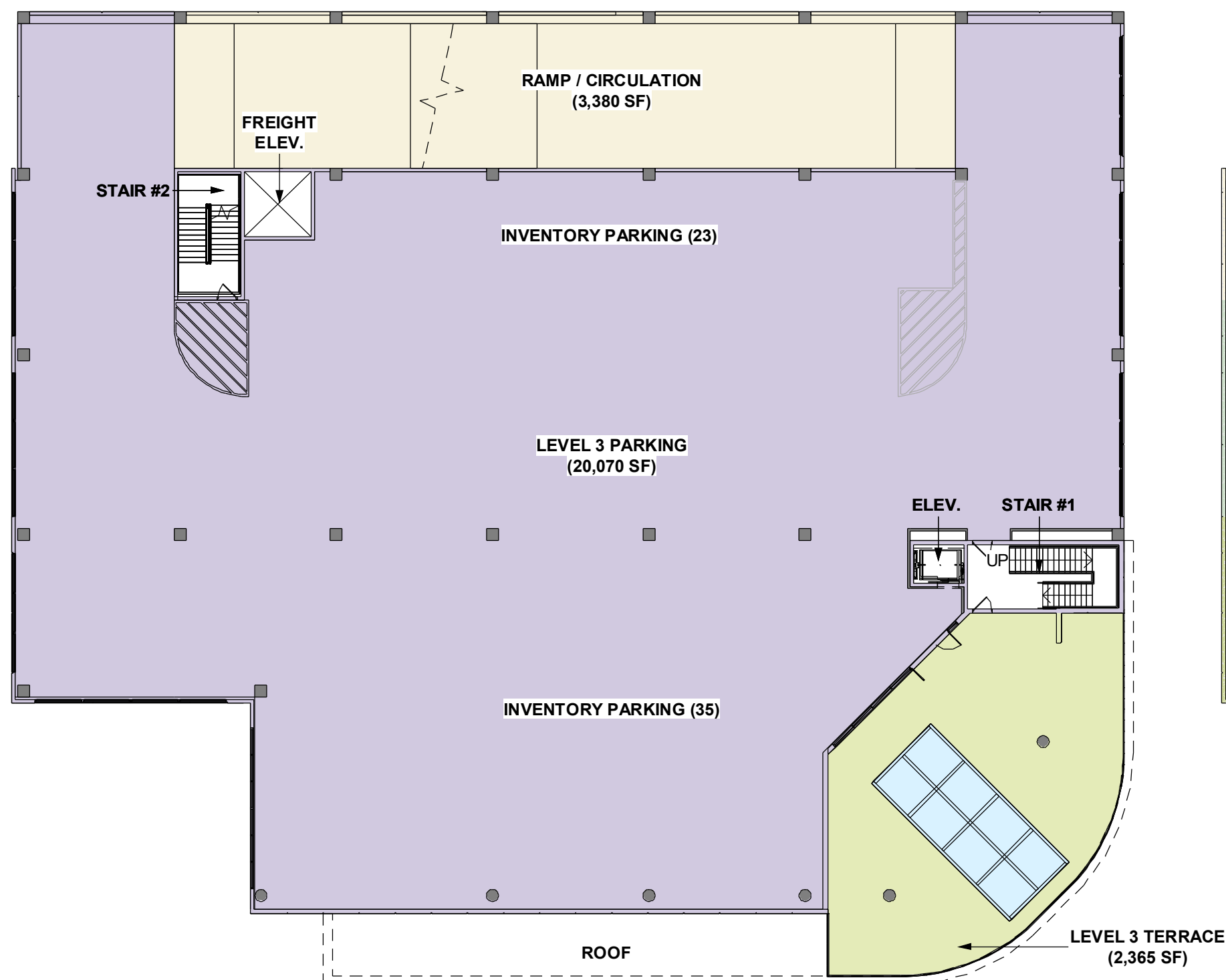
LEVEL 6 FOOTPRINT: (21,530 SF)
TOTAL PARKING SPACE: (56 SPACES)
6 PROPOSED GARAGE - LEVEL 6
3/64" = 1'-0"



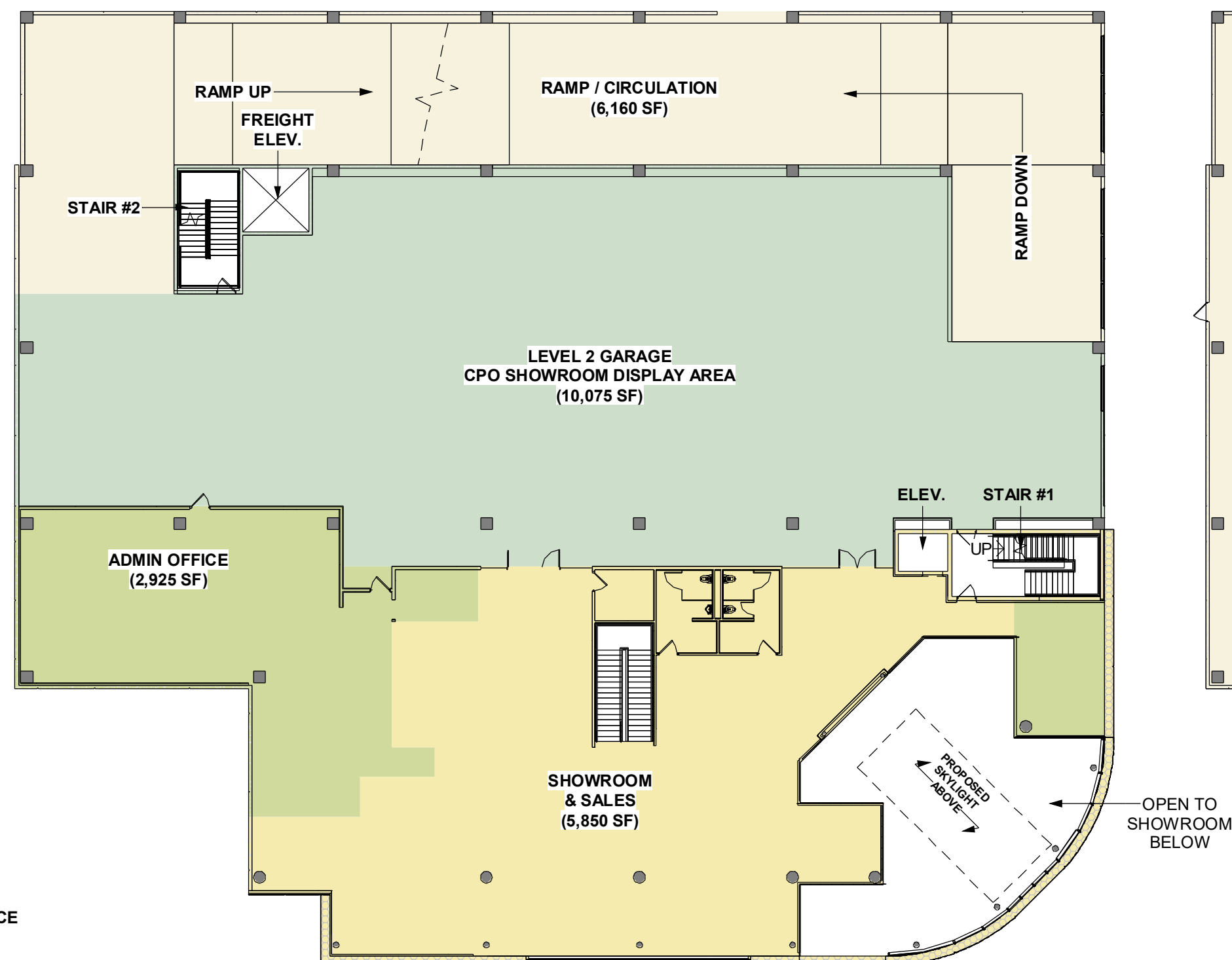
LEVEL 5 FOOTPRINT: (24,745 SF)
TOTAL PARKING SPACE: (64 SPACES)
5 PROPOSED GARAGE - LEVEL 5
3/64" = 1'-0"



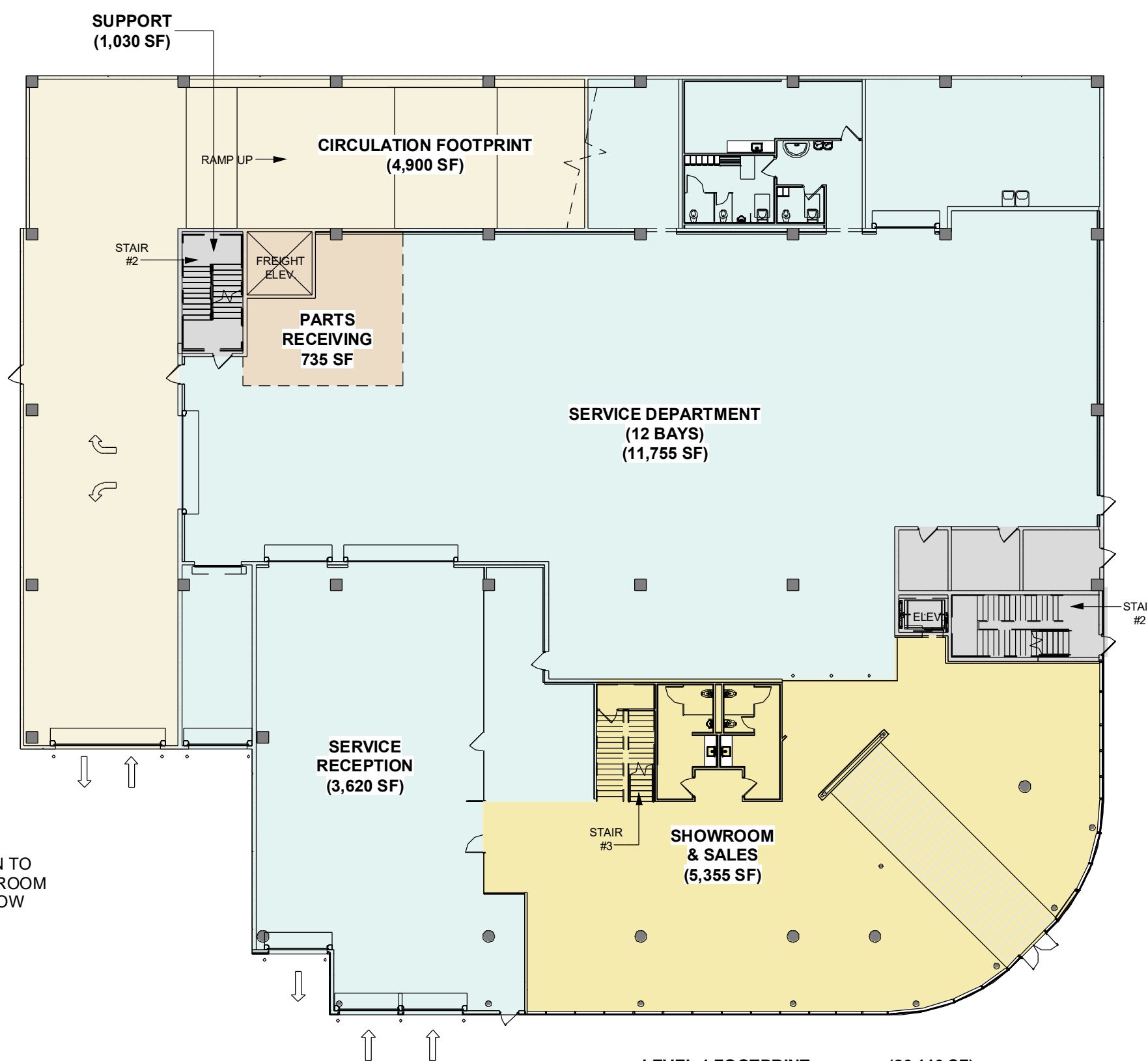
LEVEL 4 FOOTPRINT: (24,745 SF)
TOTAL PARKING SPACE: (40 SPACES)
4 PROPOSED GARAGE - LEVEL 4
3/64" = 1'-0"



LEVEL 3 FOOTPRINT: (25,815 SF)
TOTAL PARKING SPACE: (59 SPACES)
3 PROPOSED GARAGE - LEVEL 3
3/64" = 1'-0"



LEVEL 2 FOOTPRINT: (25,010 SF)
TOTAL PARKING / DISPLAY: (9 SPACES)
2 PROPOSED LEVEL 2 SHOWROOM & GARAGE
3/64" = 1'-0"



LEVEL 1 FOOTPRINT: (26,110 SF)
TOTAL SURFACE SPACE: (6 SPACES)
1 PROPOSED GROUND LEVEL
3/64" = 1'-0"

PORSCHE PROGRAMMING

PROGRAM TYPE	PROPOSED UNIT / AREA
SHOWROOM	
SHOWROOM & SALES	11,205 SF
	11,205 SF
ADMINISTRATION	2,925 SF
SERVICE	2,925 SF
WORK STALLS - LEVEL 1	12 STALLS / 11,755 SF
WORK STALLS - LEVEL 4	(FUTURE +8 BAY / +4,760 SF)
WASH AND DETAIL BAY	2 WASH/2 DETAIL / 1,855 SF
SERVICE OFFICE & OTHER	3,620 SF
	16 STALLS / 17,230 SF

PARTS	
PARTS (LEVEL 1)	735 SF
PARTS (UPPER LEVEL)	2,145 SF
	2,880 SF
SUPPORT	
SUPPORT / CIRCULATION	1,030 SF
	1,030 SF

TOTAL PORSCHE PROGRAMMING	40,030 SF
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TOTAL LAND	1.11 AC.
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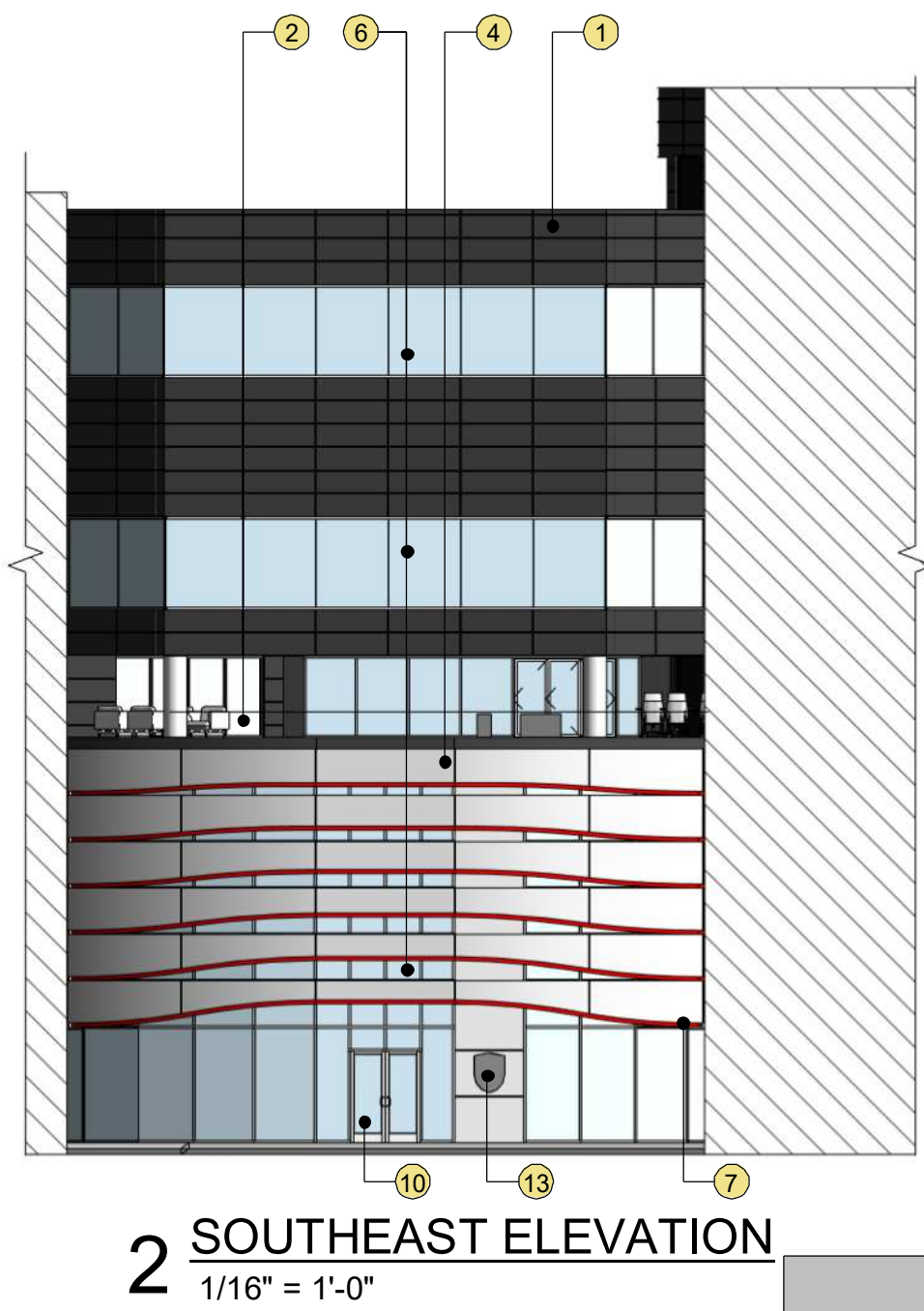
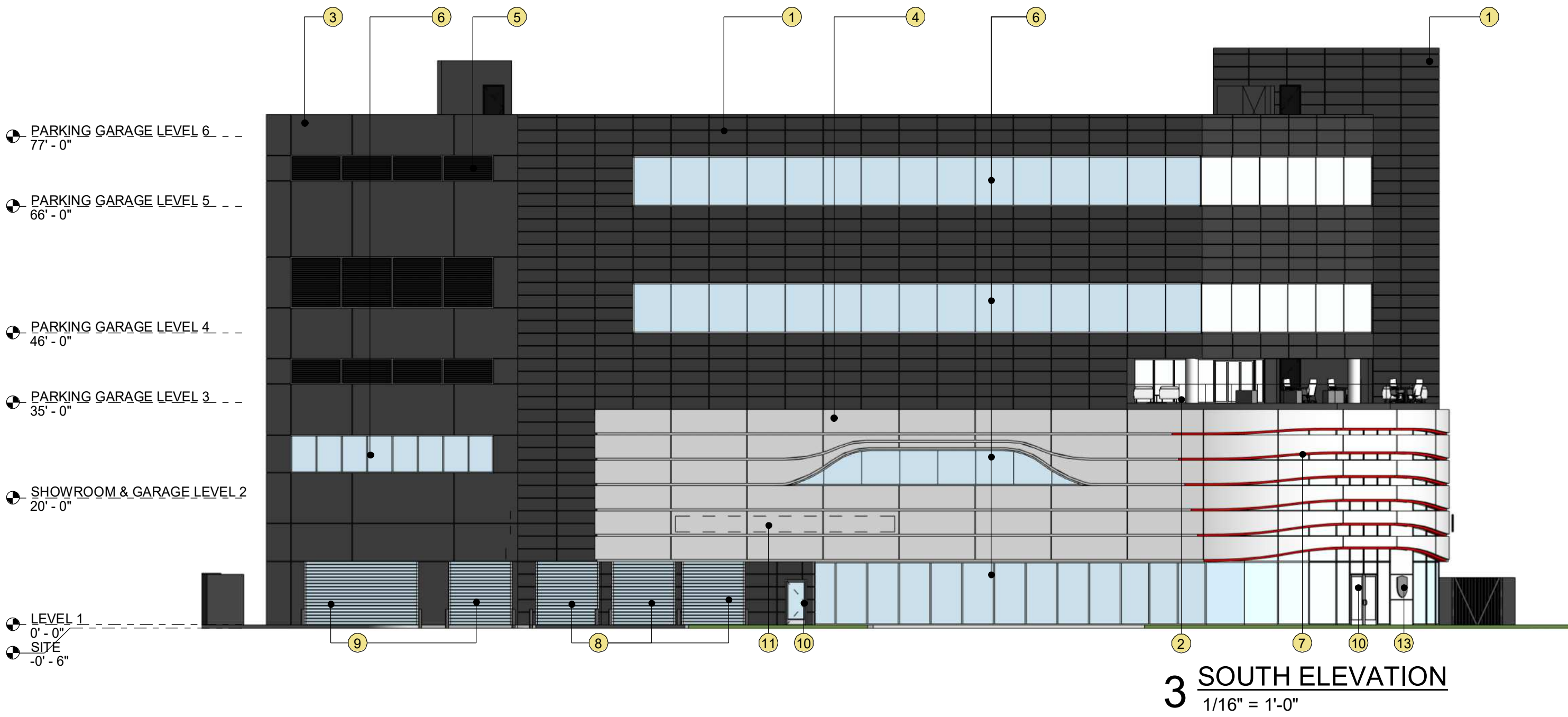
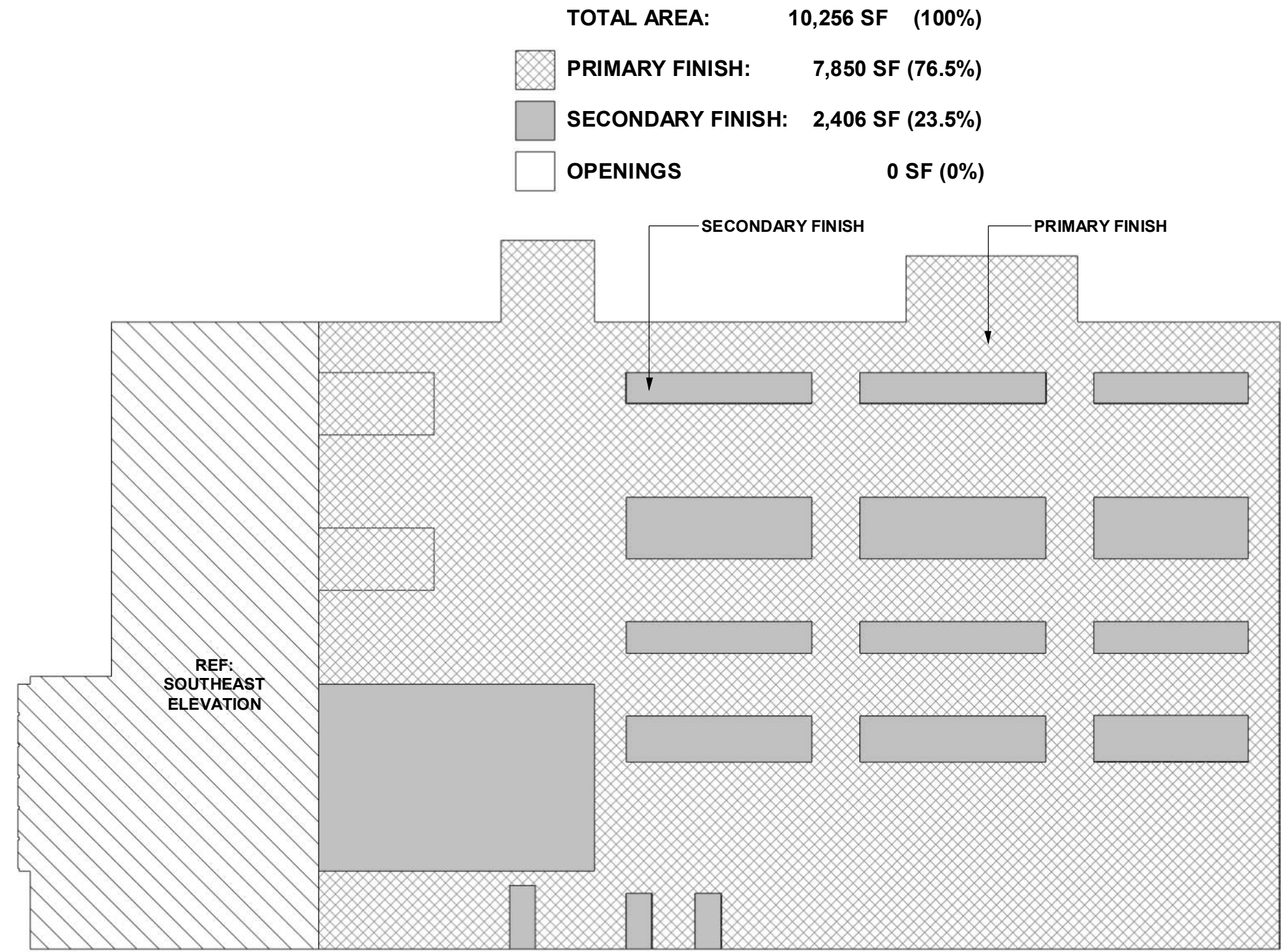
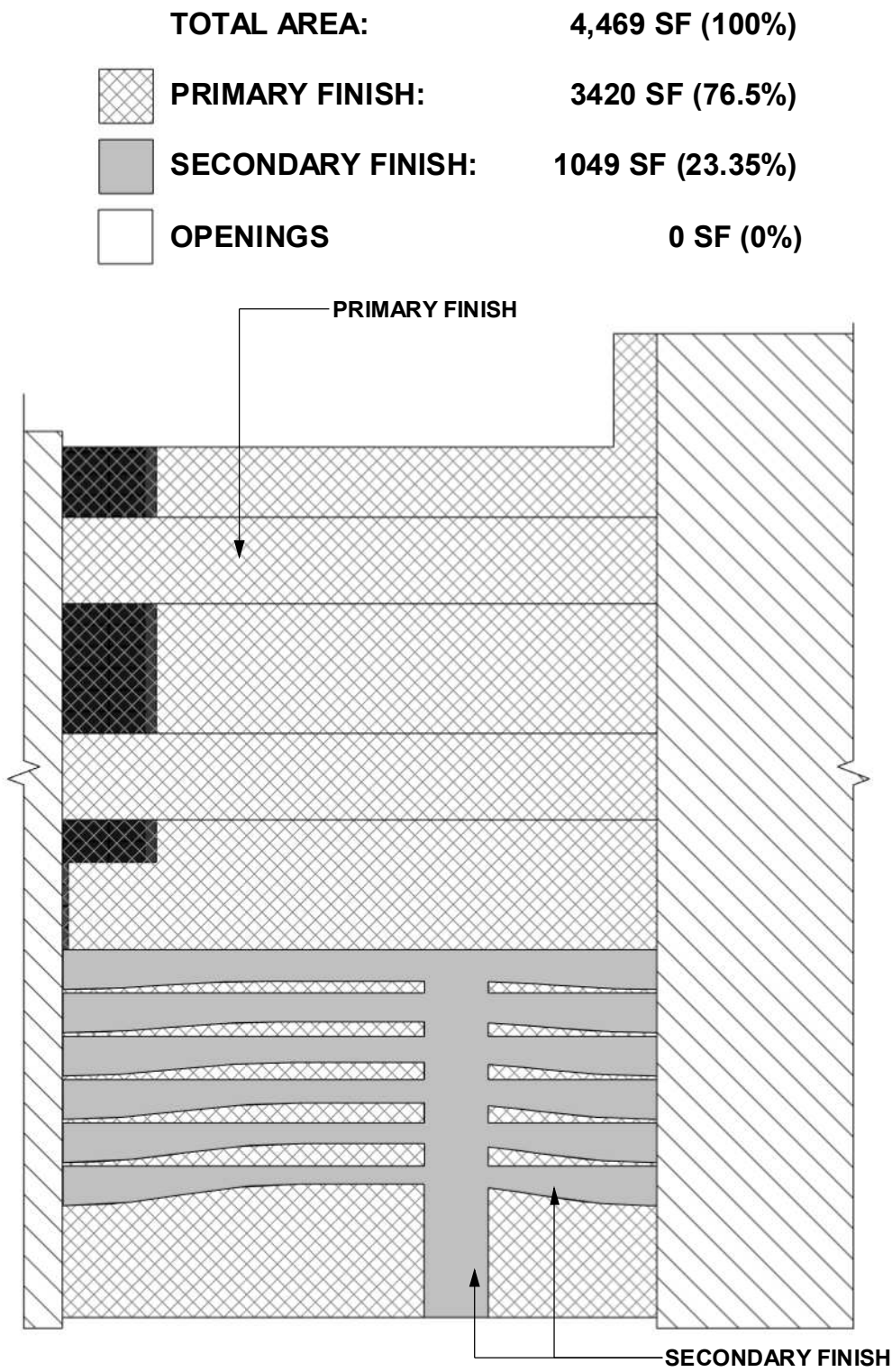
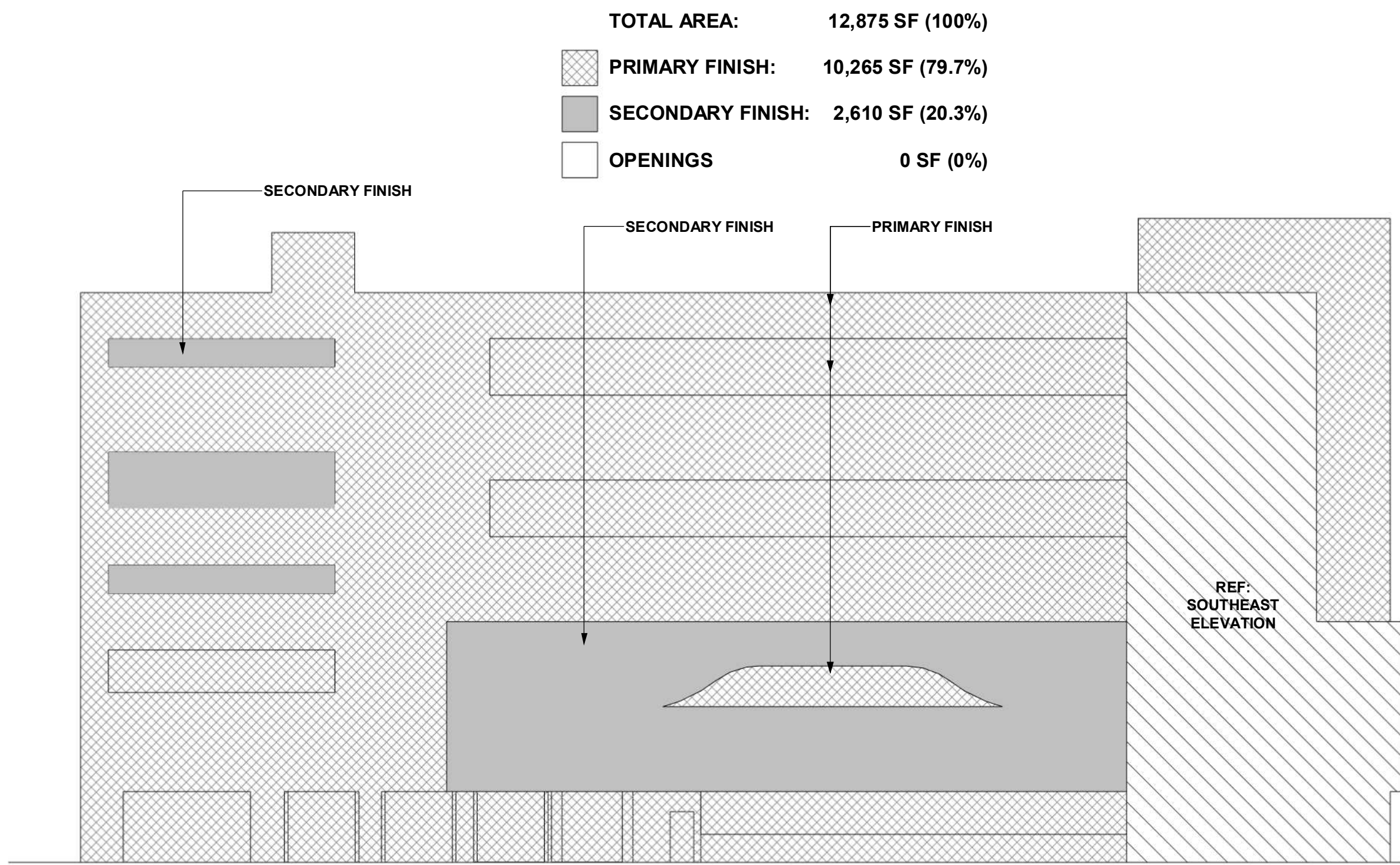
MULTI-STORY PARKING STRUCTURE DATA			
GROUND LEVEL	N / A	6 PARKING	27,395 SF
LEVEL 2	N / A	9 PARKING	25,010 SF
LEVEL 3	N / A	58 PARKING	25,815 SF
LEVEL 4	N / A	40 PARKING	24,745 SF
LEVEL 5	N / A	64 PARKING	24,745 SF
LEVEL 6	N / A	56 PARKING	21,530 SF

OVERALL PARKING SPACES	233 SPACES
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OVERALL BUILDING AREA	** 149,240 SF
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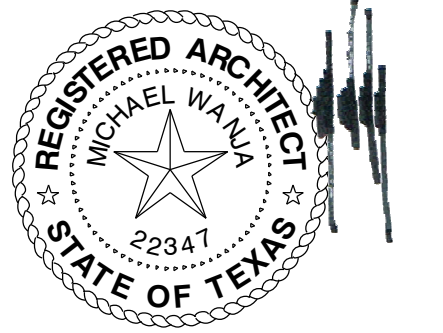
REQUIRED PARKING PER CITY REQUIREMENT	
SALES PARKING REQUIREMENT (1: 500 SF)	31 SPACES / 15,160 SF
PARTS PARKING REQUIREMENT (1:200 SF)	15 SPACES / 2,880 SF
SERVICE PARKING REQUIREMENT (1:200 SF)	110 SPACES / 21,990 SF
	156 SPACES / 40, 030 SF

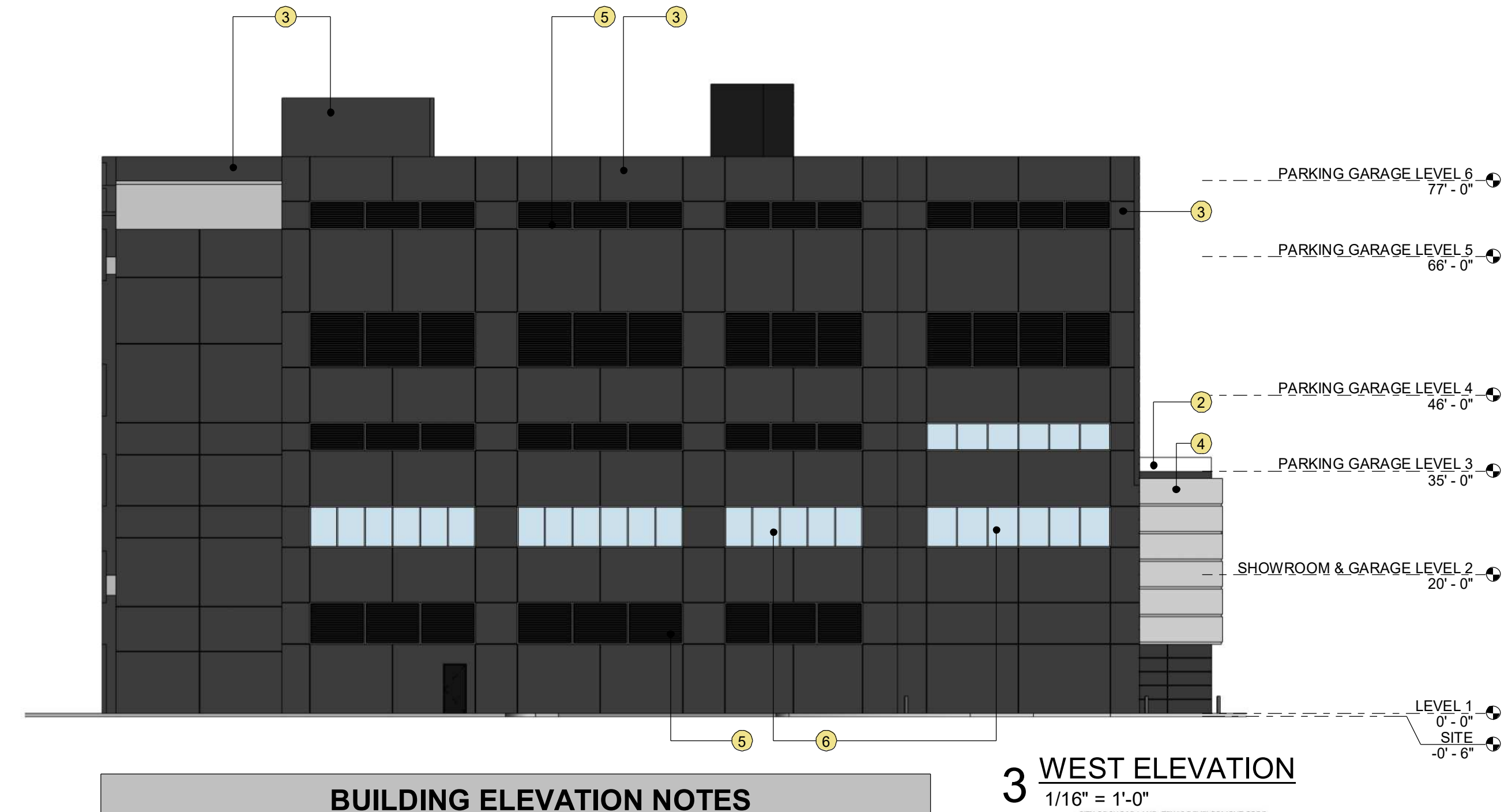
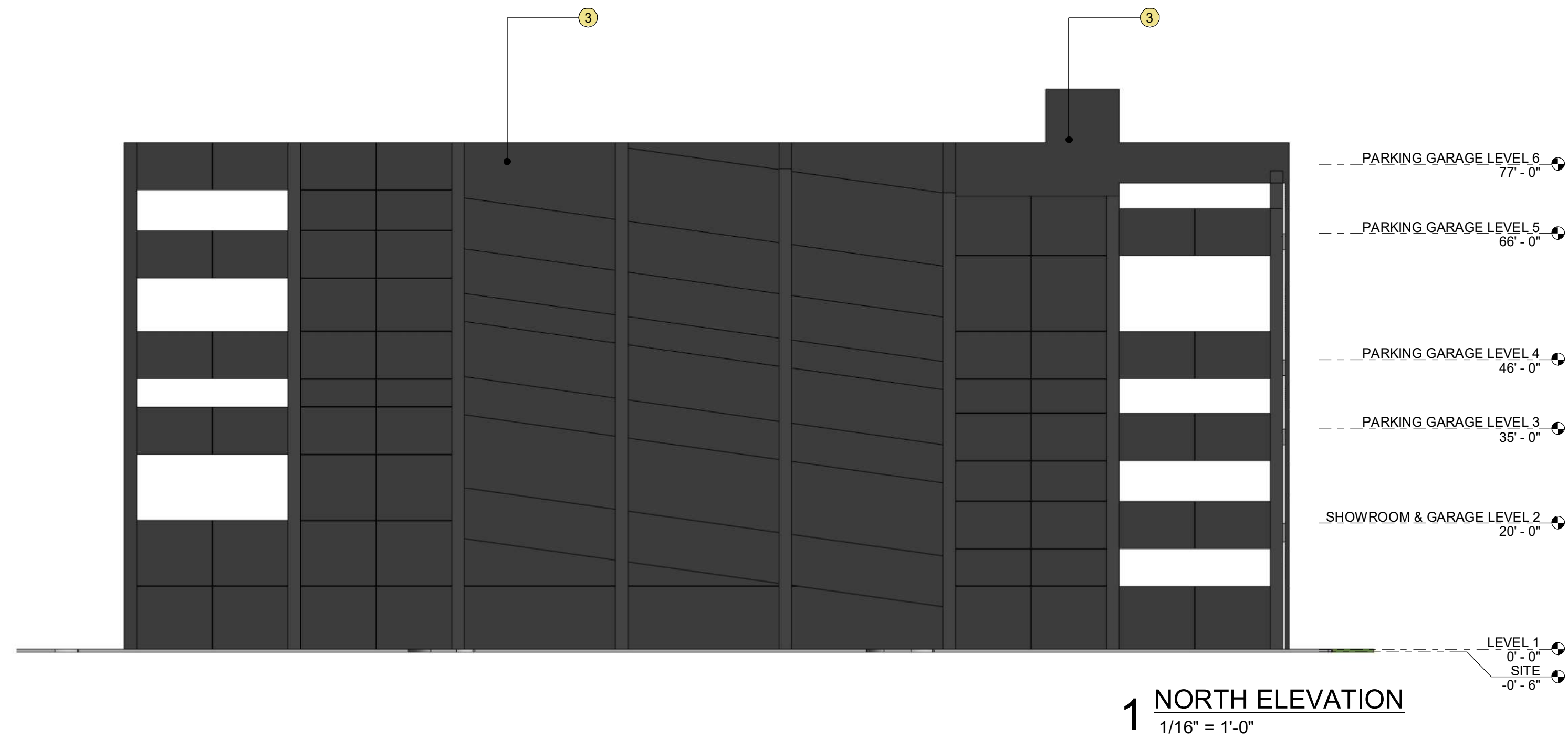
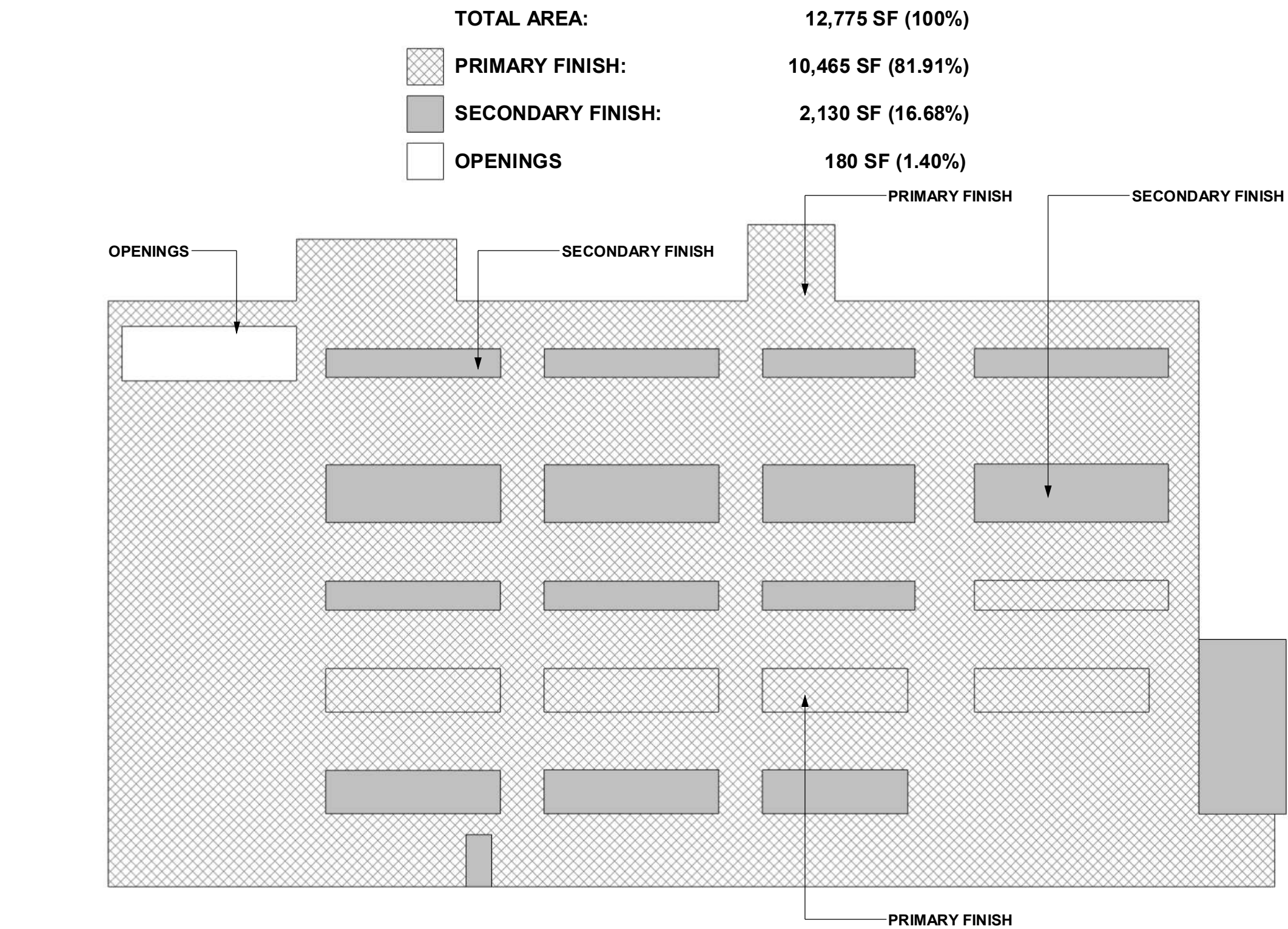
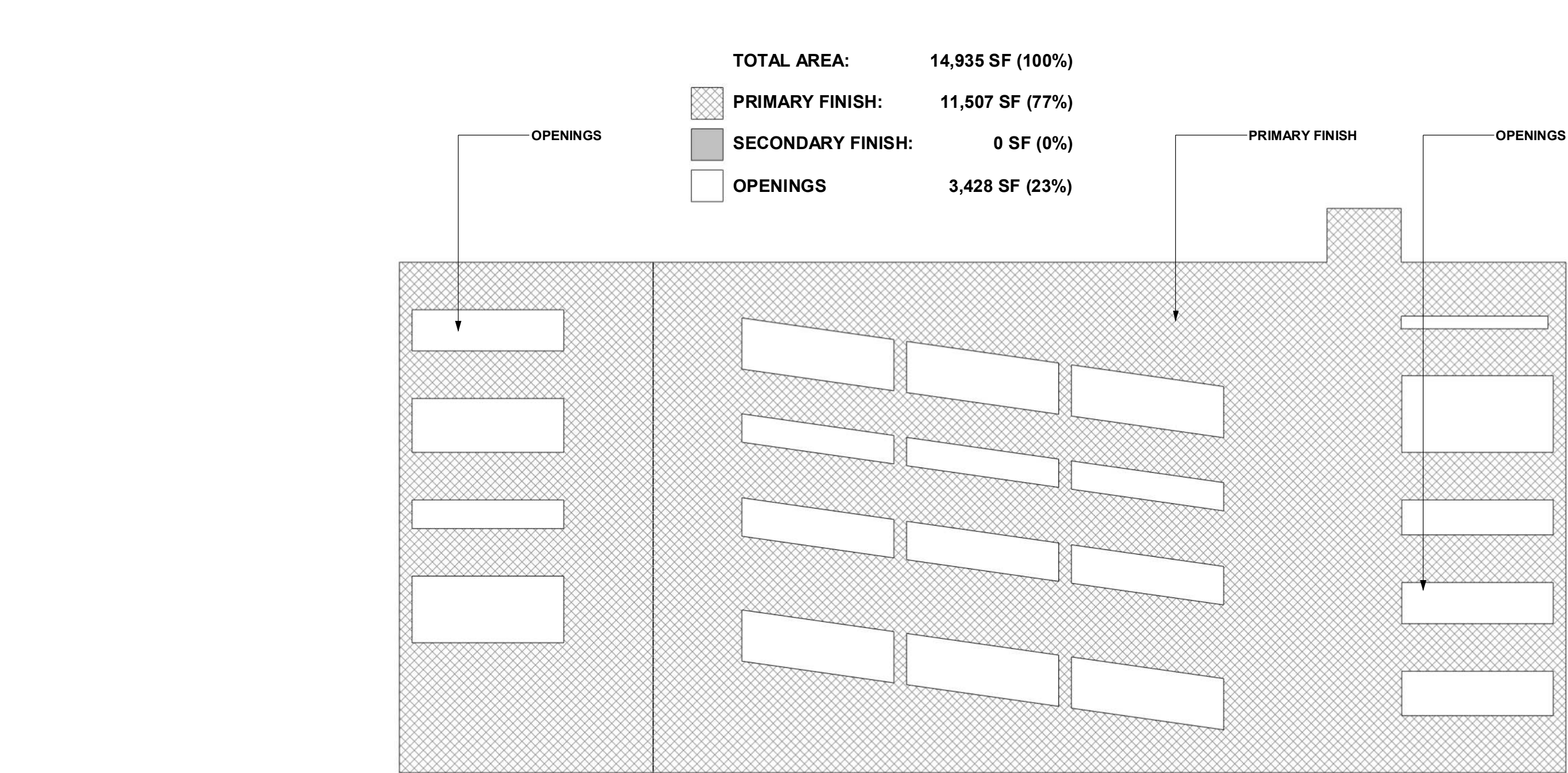
PROPOSED PARKING	
CUSTOMER - PUBLIC ACCESS @ SURFACE LEVEL	6 PARKING
CUSTOMER - VALET ACCESS @ GARAGE	94 PARKING
EMPLOYEE - CONTROLLED ACCESS @ GARAGE	56 PARKING
	156 PARKING SPACES
INVENTORY - CONTROLLED ACCESS @ GARAGE	77 PARKING
OVERALL PARKING PROVIDED	233 PARKING



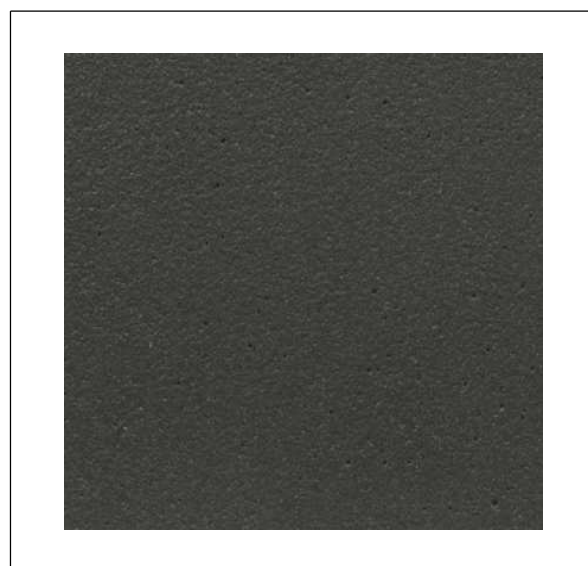
BUILDING ELEVATION NOTES	
1	PRECAST CONCRETE - FIBER C PANELS- BLACK
2	GLASS GUARDRAIL AT TERRACE
3	PRECAST CONCRETE - BLACK - SMOOTH
4	METAL PANEL - PORSCHÉ APPROVED WHITE COLOR
5	PAINTED METAL LOUVERS - BLACK
6	EXTERIOR CURTAIN WALL GLAZING WITH LOW - E COATING
7	ARCHITECTURAL LIGHTING - PORSCHÉ APPROVED LED LIGHTING
8	OVERHEAD ALUMINUM GLASS DOORS - HIGH SPEED
9	OVERHEAD ALUMINUM GLASS DOORS
10	EXTERIOR CURTAIN WALL DOORS
11	30" X 35' BUILDING SIGNAGE -135 SF. PART OF SEPARATE PERMIT
12	24" X 14' BUILDING SIGNAGE - 42 SF. PART OF SEPARATE PERMIT
13	47" X 5' BUILDING SIGNAGE - 20 SF. PART OF SEPARATE PERMIT

BUILDING ELEVATION NOTES	
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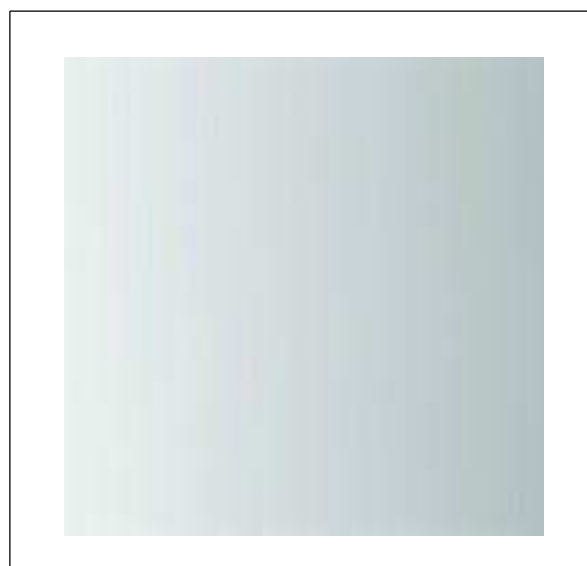
PRIMARY FINISH



PT #1
PRECAST CONCRETE - FIBER C PANELS
PAINT TO MATCH CENTRIA PANEL - RIGID WALL
#9916 RICH BLACK SMOOTH TEXTURE



PT #3
PRECAST CONCRETE - ARCHITECTURAL FINISH
PAINT TO MATCH CENTRIA PANEL - RIGID WALL
#9916 RICH BLACK SMOOTH TEXTURE



GL #1
CURTAIN WALL
FAOUR GLASS - SLUMPECT MULLIONLESS GLAZING
CLEAR LOW E COATING

SECONDARY FINISH



MT #1
ACM PANEL
PORSCHÉ APPROVED WHITE COLOR



MT #2
METAL LOUVER
PAINT TO MATCH #9916 RICH BLACK SMOOTH TEXTURE

BUILDING ELEVATION NOTES

1	PRECAST CONCRETE - FIBER C PANELS- BLACK
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Table 2-313.1: Primary Finish Requirements for Nonresidential Buildings

Zoning District	Minimum %	Materials
All residential districts	85%	Masonry, glass window or wall, or combination thereof
B-O	85%	
B-1	75%	Masonry, glass window or wall, cementitious stucco or combination thereof
B-2	75%	
MUC	85%	Brick for all Principal, Accessory, and Non-Accessory buildings; Wood or fiber cement siding for all detached Private Garages in the district; For 318 Brooks Street and south, wood or fiber cement siding may be used for detached Private Garages and additions to existing brick principal buildings; For 314 Brooks Street and north, wood or fiber cement siding for all Principal, Accessory, and Non-Accessory buildings.

Table 2-313.2: Secondary Finish Requirements for Nonresidential Buildings

Zoning District	Maximum %	Materials
B-1	30%	Concrete Masonry Units as defined in this Article. Exterior Insulated Finish Systems (E.I.F.S.), fiber reinforced cement exterior siding, stone materials, aluminum composite material (Alucobond or similar), or a combination thereof
B-2		
B-O	15%	Concrete Masonry Units as defined in this Article. Exterior Insulated Finish Systems (E.I.F.S.), fiber reinforced cement exterior siding, stone materials, aluminum composite material (Alucobond or similar), or a combination thereof
All residential districts		Cementitious Stucco.

SEC. 2-314. REQUIREMENTS APPLICABLE TO ALL FINISHES.
A. BRICK, THIN BRICK, NATURALLY OCCURRING STONE, MANUFACTURED STONE, AND SPLIT-FACE CONCRETE MASONRY UNITS MAY NOT BE PAINTED.
B. CONCRETE FINISH AND PRE-CAST CONCRETE PANELS MUST BE PROFILED, SCULPTURED, FLUTED, EXPOSED AGGREGATE OR OTHER ARCHITECTURAL CONCRETE FINISH. IN THE B-1 AND B-2 DISTRICTS, CONCRETE FINISH AND PRE-CAST CONCRETE PANELS ON REAR EXTERIOR WALLS MAY BE SMOOTH WHEN SCREENED FROM A PUBLIC STREET.
C. GLASS WALLS MAY INCLUDE GLASS CURTAIN WALLS OR GLASS BLOCK CONSTRUCTION.
D. E.I.F.S. MATERIALS MAY NOT BE USED AT ANY HEIGHT WITHIN SIX FEET OF GRADE LEVEL IN ANY AREA ACCESSIBLE TO PEDESTRIANS, VEHICLES OR OTHERWISE SUBJECT TO DAMAGE.
E. IN ITS INITIAL APPLICATION, CEMENTITIOUS STUCCO MUST BE INTEGRALLY COLORED, AND MAY NOT BE PAINTED.
(ORD. NO. 1357, § 1, 7-2-02)



PLANT SCHEDULE

SYM.	BOTANICAL NAME / COMMON NAME	CAL.	HEIGHT	SPREAD	CONTAINER SIZE	REMARKS
TREES						
MXS	PLATANUS MEXICANA MEXICAN SYCAMORE	4"	12' - 14'	6' - 8'	CONT. GROWN	FULL, SYMMETRICAL, MATCHED, STRONG CENTRAL LEADER
RM	ACER RUBRUM RED MAPLE	4"	12' - 14'	6'-8'	100 GAL.	FULL, SYMMETRICAL, MATCHED
SHRUBS						
BH	ILEX CORNUTA 'BURFORD NANA' DWARF BURFORD HOLLY		36"	24"	15 GAL.	FULL, WELL ROOTED 24" O.C.
GROUND COVER						
FF	ASPARAGUS MEYERI FOXTAIN FERN		16"	14"	3 GAL.	FULL, WELL ROOTED 18" O.C.
WI	NEOMARICA GRACILIS WALKING IRIS		16"	14"	3 GAL.	FULL, WELL ROOTED 18" O.C.
TURF						
	CYNODON DACTYLON COMMON BERMUDA					SOLID SOD

LANDSCAPE MATERIALS LEGEND

	NURSERY GROWN CONTAINERIZED TREES
	SHRUB/GROUND COVER
	4"(IN) THICK LAYER BLACK STAR GRAVEL ON FILTER FABRIC. SIZE TO BE 3/4"(IN).
	SOLID SOD - COMMON BERMUDA
	3/16" (IN) STEEL EDGE (ONLY INDICATED WITH 'SE'). COLOR TO BE BLACK

CITY OF SUGARLAND - TREE AND SHRUB ORDINANCE

LANDSCAPE ANALYSIS FORM
Non-Single Family Residential

A) TREE AND SHRUB PLANTING REQUIREMENTS

A) STREET TREES: Sec. 2-385-3
length of property in lineal feet as measure along each street separately.

Street Name	Lineal Feet	Tree Planting Requirement	Equivalent Credits	Total Trees Proposed
Primary Access Road 1	164 /50	4		4
Primary Access Road 2	129 /50	3		3
TOTAL STREET TREES				7

B) SIDE AND REAR YARD TREES: Sec. 2-385-3
length of parking lot along rear and side yard in lineal feet.

Total Linear Feet of Parking Lot	Lineal Feet	Tree Planting Requirement	Equivalent Credits	Total Trees Proposed
0	/50	0		0
TOTAL STREET TREES				0

C) PARKING LOT LANDSCAPING: Sec. 2-386-1
For every 20 parking spaces, 162 square feet of landscape area is required.
For every 20 parking spaces, 162 square feet of landscape area is required.

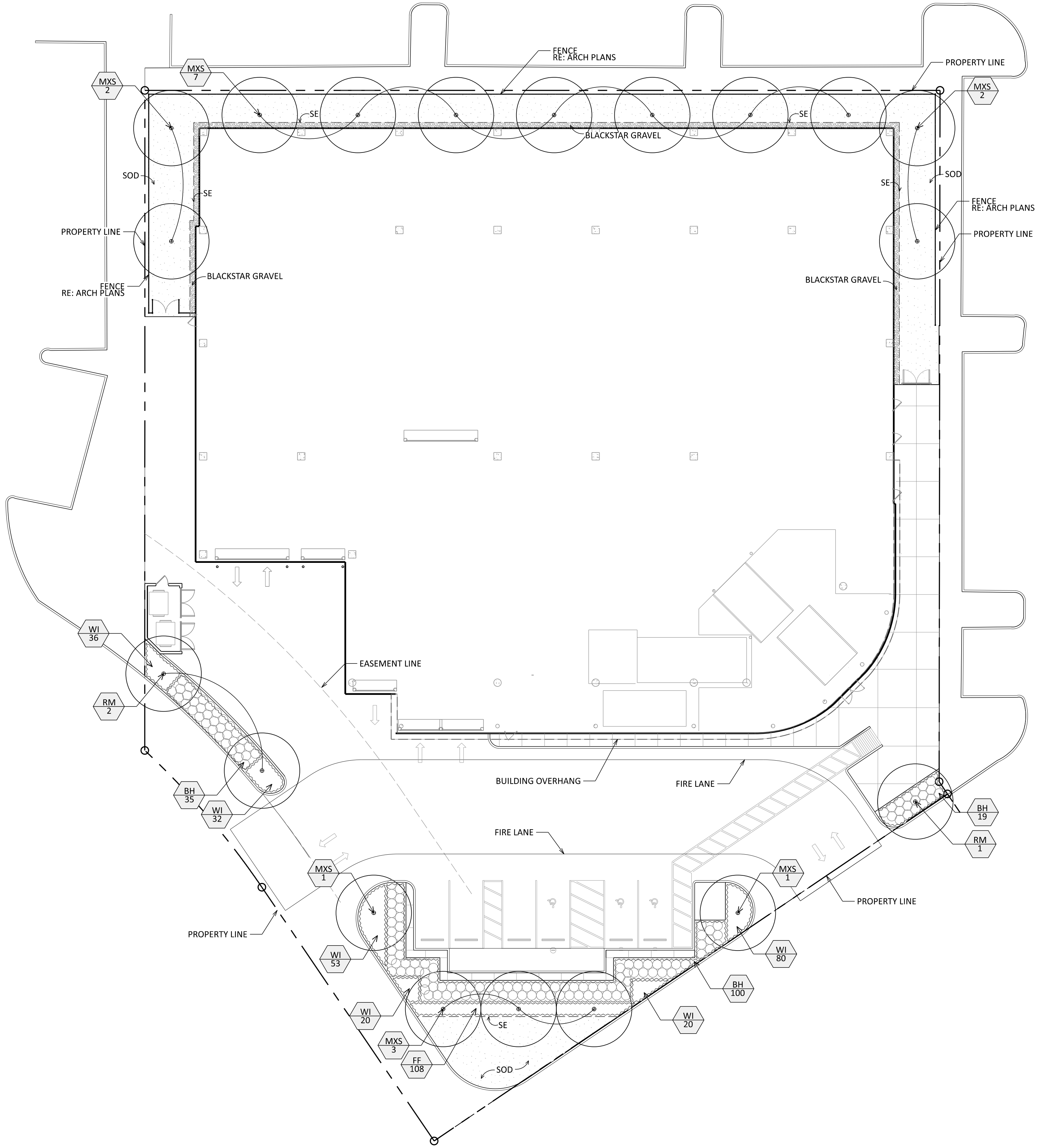
Total # of Parking Spaces	Required Square Feet of Landscape Area	Proposed Square Feet of Landscape Area
6	162	2282

D) PARKING LOT TREES: Sec. 2-386-1
Every 162 square feet of landscape areas requires 1 shade tree be planted.

Required Square Feet of Landscape Area	# of Trees	Tree Planting Requirement	Equivalent Credits	Large Trees	Small Trees	Total Trees Proposed
162	1 PER 162	1		1		1

E) SHRUBS: Sec. 2-385-3
100% of parking lot along street frontage must be screened with a continuous shrub row.
25% of parking lot along adjacent property must be screened with a continuous shrub row.

D) LANDSCAPE BUFFER: Sec. 2-385-4
Sec. 2-385-5
Side yards adjacent to other properties require a 6 feet wide landscape area.
Extending from front lot line to other rear lot line.
Front yard adjacent to street frontage require a 6 feet wide landscape area.
Extending from side lot line to other side lot line.
(Site plan to show easement lines on all sides of the property)

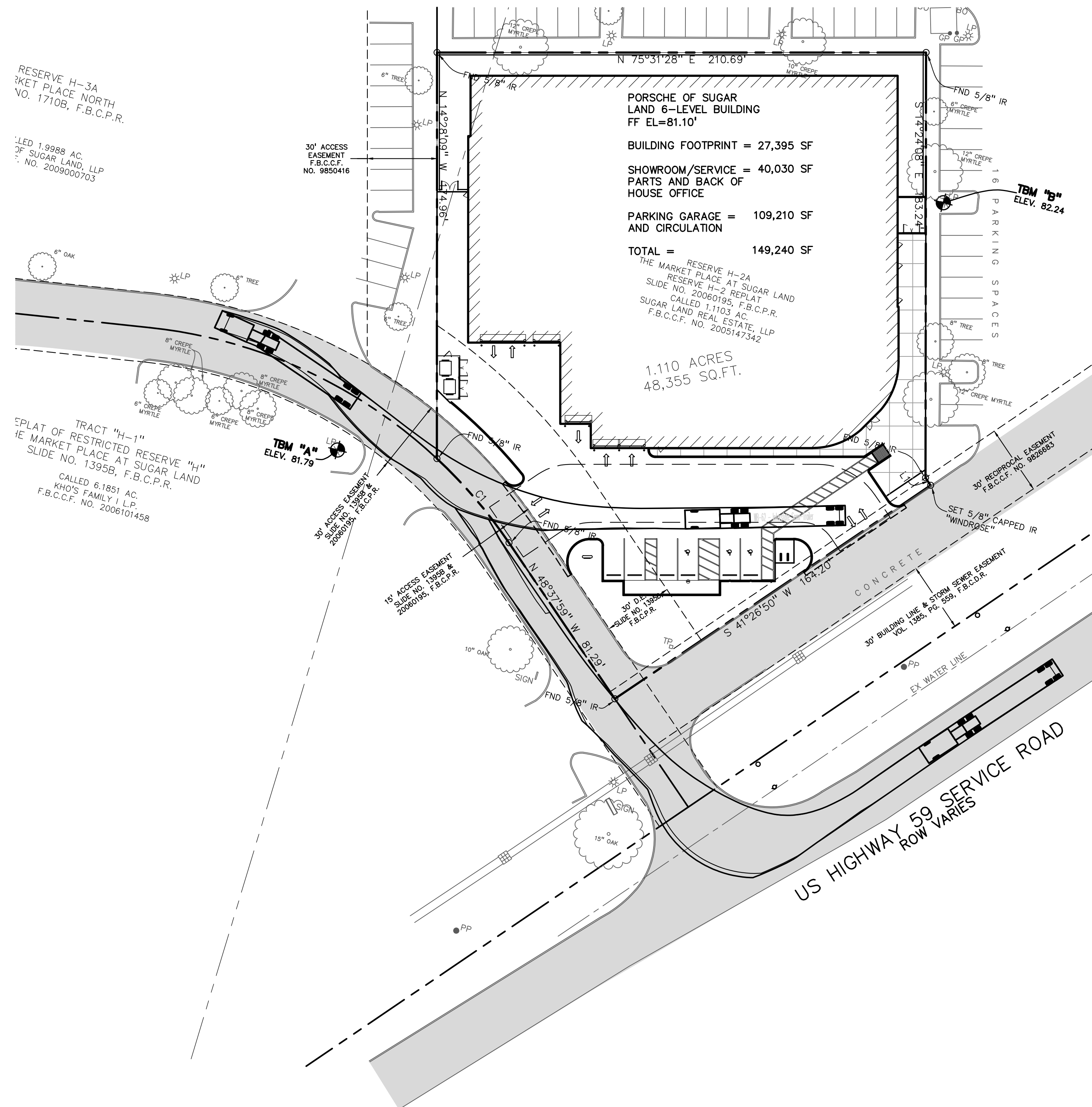
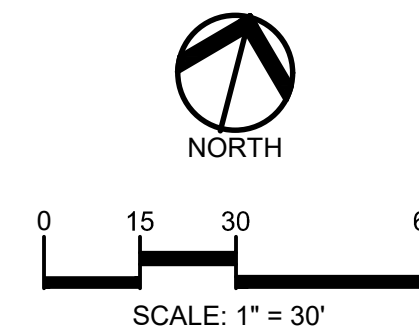


Goree
Interiors | Architecture | Brand

KUDELA &
WEINHEIMER
LANDSCAPE ARCHITECTS

PORSCHE OF SUGAR LAND
SOUTHWEST FWY, SUGAR LAND, TX 77478

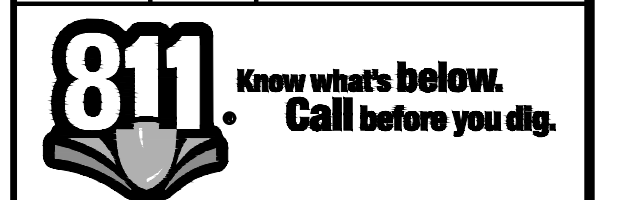
LANDSCAPE PLAN
Exhibit D L1.01
08/09/2021



PEA
GROUP
t: 844.813.2949
www.peagroup.com
TEXAS PE FIRM #F-21237

Goree
Interiors | Architecture | Brand

PRIVATE SITE WORK
FOR PORSCHE OF
SUGAR LAND
SOUTHWEST FWY, SUGAR LAND
TEXAS, 77478

[illegible]

CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

SUBMITTAL DATE: AUGUST 2021

ONSITE VEHICLE
TRANSPORTER
CIRCULATION



REV	DESCRIPTION	DATE

PEA PROJECT No:	2021-0139
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DRAWN BY: WGW

CHECKED BY: SG

SCALE: 1"=30'

SHEET No: X OF PRO

C-0.5

Exhibit E