

## **ORDINANCE NO. 2122**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SUGAR LAND, TEXAS, GRANTING A CONDITIONAL USE PERMIT FOR A RETAIL BUILDING ADJACENT TO RESIDENTIAL PROPERTY ON APPROXIMATELY 1.73 ACRES, LOCATED ALONG ELDRIDGE ROAD NORTH OF WEST AIRPORT BOULEVARD WITHIN THE NEIGHBORHOOD BUSINESS (B-1) DISTRICT.**

WHEREAS, Milestone West Airport SC, Ltd. has applied for a conditional use permit to build a retail building in a Neighborhood Business (B-1) zoning district for approximately 1.73 acres along the Eldridge Road north of West Airport Boulevard; and

WHEREAS, the Planning and Zoning Commission recommends the permit be approved; NOW, THEREFORE;

### **BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SUGAR LAND, TEXAS:**

**Section 1.** That a conditional use permit to operate a retail building is granted for the property, identified as Reserve B-2C on the plat titled Airridge Center Replat No. 2. (F.B.C.O.P.R. 20160084).

**Section 2.** That the permit is subject to the following conditions:

1. The site is developed in accordance with the site plan as shown (Exhibit A).
2. The landscaping is developed in accordance with the landscaping plan as shown (Exhibit B).
3. All site or building lighting will be full cut-off and will be inspected prior to issuance of the Certificate of Occupancy (Exhibit C).
4. The building is constructed in accordance with the building and site elevations as shown (Exhibit D, E).
5. The applicant will work with the residential property owners at the rear of the site in regards to the fence and how it will be maintained.
6. The fence will face with the pickets towards the commercial property (South) in order to create easier maintenance opportunities for the commercial property owners.

**Section 3.** That the premises must be developed, operated, and maintained in accordance with the ordinances of the City of Sugar Land and in accordance with the following Exhibits, attached to and incorporated into this ordinance by reference. If there is a conflict between a provision of this ordinance and a provision of the Code of Ordinances or the Sugar Land Development Code, the more stringent provision controls.

1. Layout Site Plan - Exhibit A

2. Landscape Plan – Exhibit B
3. Photometric Plan – Exhibit C
4. Site Elevations – Exhibits D, E

**Section 4.** That any person found guilty of intentionally violating this ordinance will be fined not more than \$2,000 for each offense.

APPROVED on first consideration on \_\_\_\_\_, 2018.

ADOPTED upon second consideration on \_\_\_\_\_, 2018.

\_\_\_\_\_  
Joe R. Zimmerman, Mayor

ATTEST:

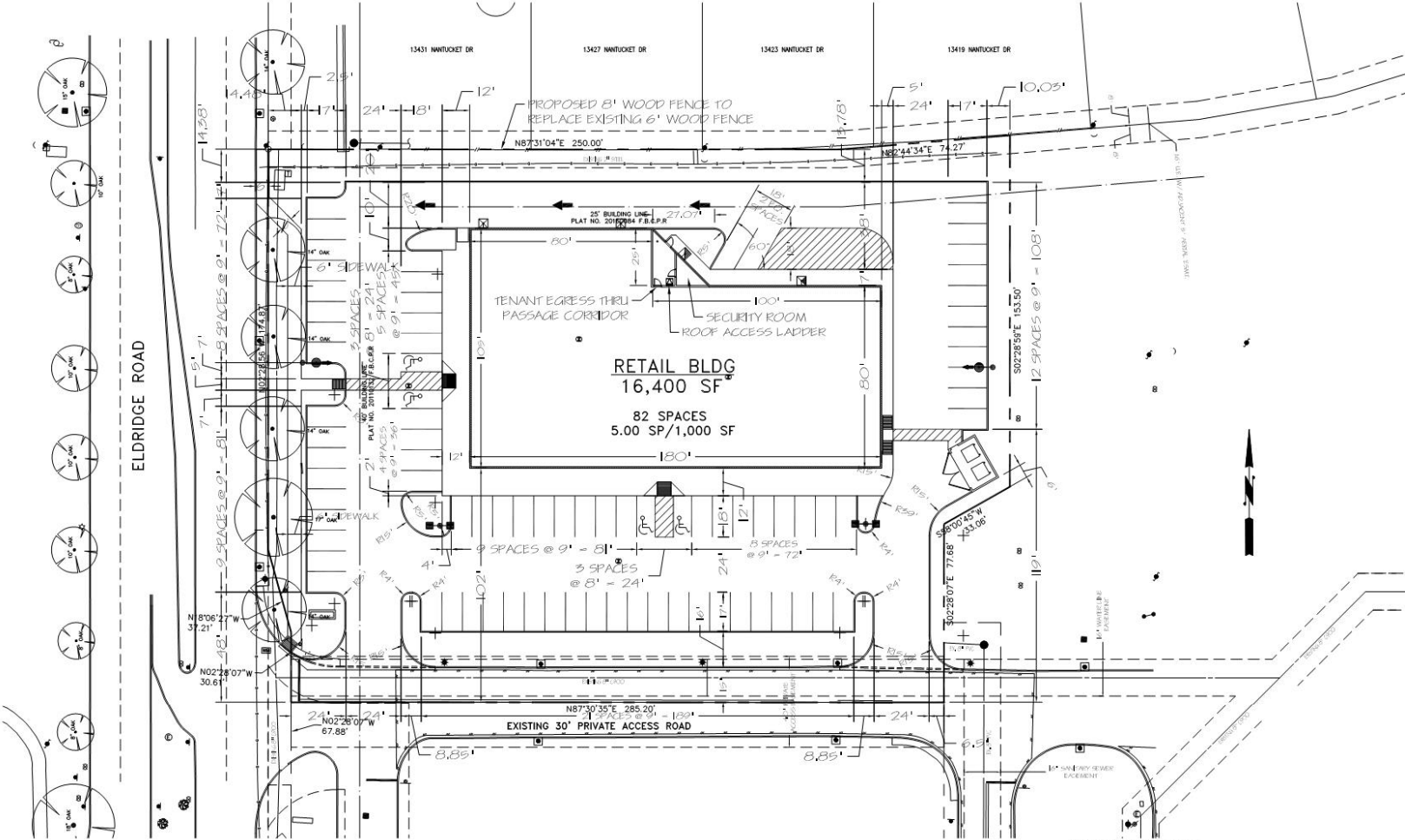
APPROVED AS TO FORM:

*Meredith Riedel*

Attachments:

Exhibit A – Layout Site Plan  
Exhibit B – Landscape Plan  
Exhibit C – Photometric Plan  
Exhibits D, E – Site Elevations

Exhibit A – Layout Site Plan



1 LAYOUT SITE PLAN  
SCALE: 1" = 20'

- SITE PLAN GENERAL NOTES
- 1. ALL NEW PAVING WILL BE CONCRETE.
  - 2. PEDESTRIAN WALKWAYS SHALL BE PAVED WITH "STAMPED" CONCRETE, COLORED PAVERS, OR OTHER MASONRY PRODUCTS DIFFERENTIATED FROM THE ADJACENT DRIVEWAYS AND PARKING AREAS THROUGH THE USE OF COLOR. COLOR SHALL BE INTEGRAL TO THE WALKWAY PAVEMENT AND SHALL NOT BE PAINTED ON THE WALKWAY SURFACE.
  - 3. ALL LIGHTING WILL BE INSPECTED IMMEDIATELY AFTER INSTALLATION TO ENSURE GLARE IS NOT EXCESSIVE.

AIRRIDGE RETAIL CENTER I  
ELDRIDGE ROAD  
SUGAR LAND, TEXAS 77478  
MILESTONE PROPERTIES, INC.  
9800 RICHMOND AVE., SUITE 490  
HOUSTON, TX 77042

ALL DIMENSIONS AND WRITTEN INFORMATION ON THIS PLAN SHALL BE CONSIDERED TO BE THE FINAL DESIGN. ANY CHANGES TO THE DESIGN SHALL BE MADE BY THE WRITTEN CONSENT OF THE ARCHITECT AND ENGINEER.

PROFESSIONAL STAMP

NOT FOR CONSTRUCTION  
STEVEN W. GROSS, P.E.  
REG. #79192  
DATE: 10-18-17

REVISION RECORD		
NO.	DATE	DESCRIPTION

DESIGN	SWG
CHECKED	SWG
DATE	10/18/17
SHEET TITLE	
LAYOUT SITE PLAN	

DEVELOPMENT SERVICES, INC.  
TEXAS REGISTRATION # 002239  
1000 West 10th Street, Suite 200, Houston, Texas 77008 (713) 441-4411

SHEET	OF
EX-A	1

Exhibit B – Landscape Plan

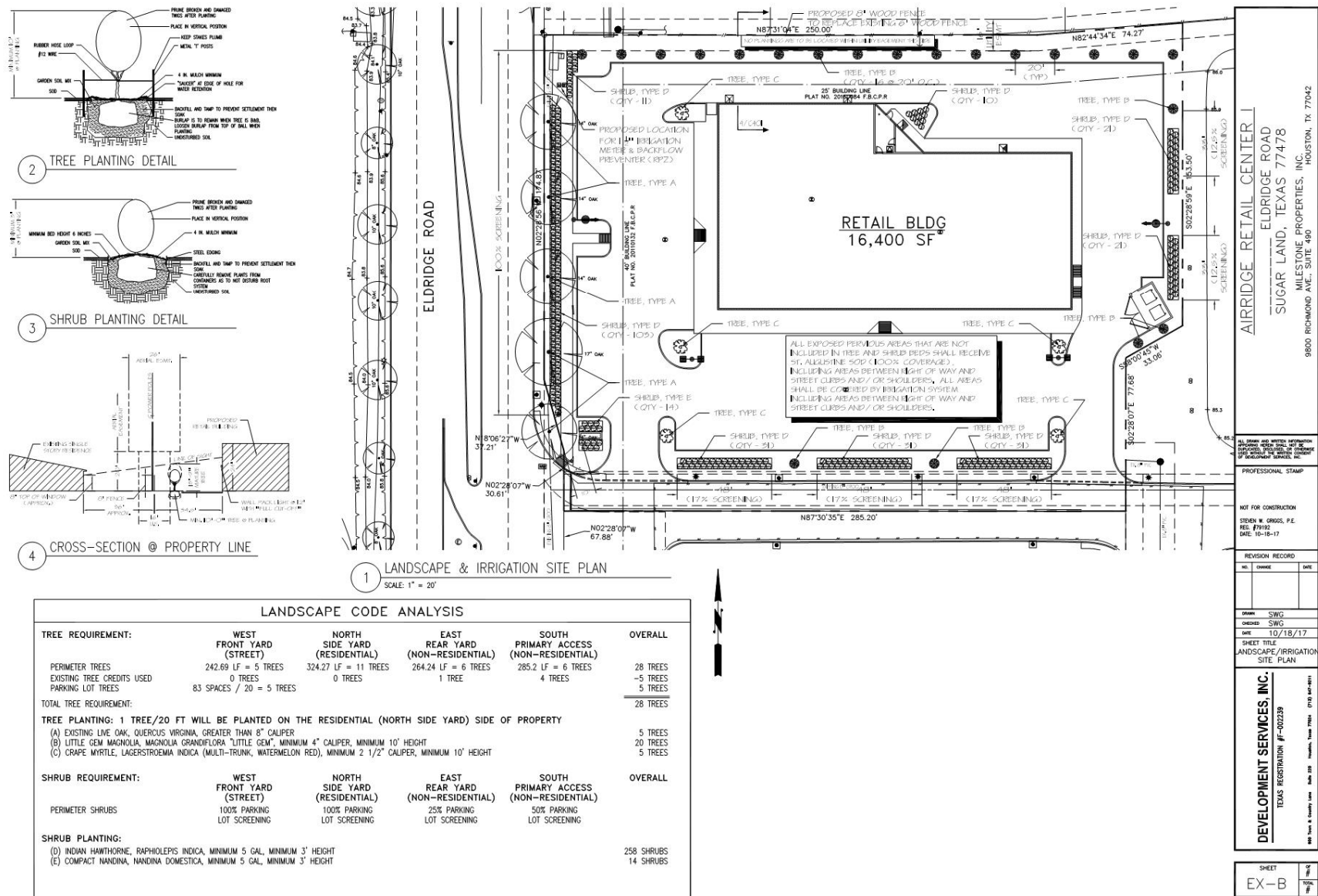
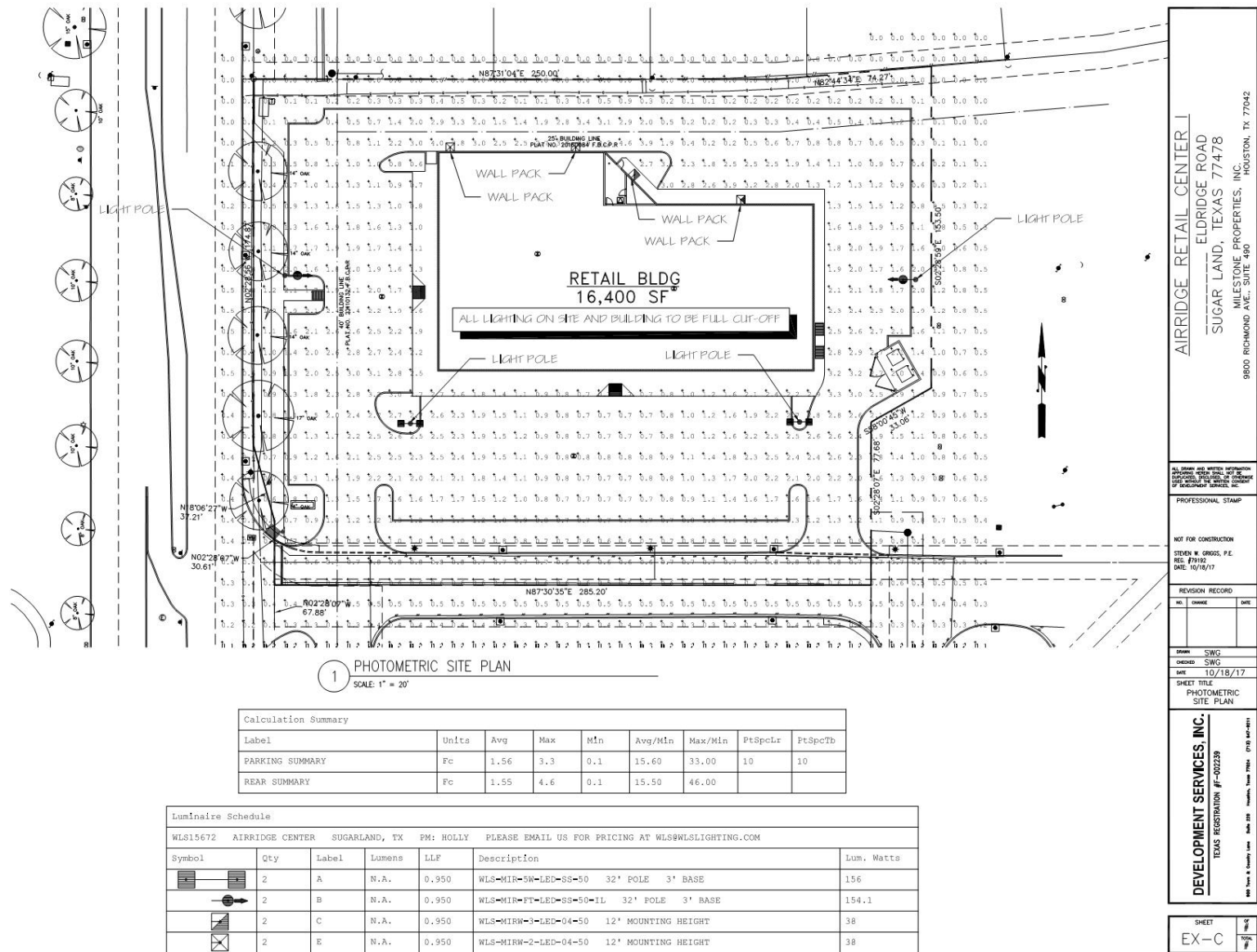


Exhibit C – Photometric Plan



# Exhibit D – Site Elevations



**01 SOUTH ELEVATION**  
SCALE: NOT TO SCALE



**02 WEST ELEVATION**  
SCALE: NOT TO SCALE

## KEYED NOTES:

- |   |   |
|---|---|
| 01 PRE-FINISHED METAL CAP FLASHING, TYPICAL. COLOR TO MATCH SHERWIN WILLIAMS SW - 7566 'WESTHIGHLAND WHITE' LRV 85%   | 12 PREFINISHED METAL DRIP HOOD, TYP.  |
| 02 INTEGRAL COLOR STUCCO CORNICE, TYP. COLOR TO MATCH SHERWIN WILLIAMS SW - 7566 'WESTHIGHLAND WHITE' LRV 85%   | 13 SCUPPER OPENING AND OVERFLOW, RE: SECTIONS   |
| 03 ARCHITECTURALLY 'SCORED' CONCRETE TILT WALL PANEL WITH COARSE PAINTED FINISH. COLOR TO MATCH BENJAMIN MOORE 'PUTNAM IVORY', HC-39  | 14 PREFINISHED METAL COLLECTOR BOX AND DOWNSPOUT SYSTEM.  |
| 04 NATURAL STONE MASONRY, TYPICAL. 'TEXANA GOLD' RANDOM ASHLAR PATTERN / MORTAR COLOR 'LIGHT QUARRY-N'  | 15 PROVIDE WALL PACK FIXTURE AT 12'-0" A.F.F. TO BOTTOM OF FIXTURE. RE: ELECTRICAL  |
| 05 PRECAST STONE BAND. COLOR - 'NATURAL WHITE', MORTAR COLOR - 'LIGHT QUARRY-N'   | 16 CONCRETE TILT-WALL PANEL JOINT   |
| 06 CONCRETE TILT-WALL PANEL REVEAL, TYP. RE: SECTIONS   | 17 DASHED LINE INDICATES DUMPSTER ENCLOSURE. ENCLOSURE SHALL HAVE STONE WAINSCOT BELOW W/ STUCCO FINISH ABOVE AS INDICATED. COLORS AND MATERIALS TO MATCH BUILDING. RE: EXHIBIT 'E' |
| 07 14" X 40" BURNISHED CMU BLOCK. FEDERAL MASONRY, TEXTURE '300GF' ISLAND SAND, GROUND FACE   | 18 ELECTRICAL GUTTERS/METERS, RE: ELECTRICAL  |
| 08 DASHED LINE INDICATES ROOF LINE. RE: STRUCTURAL  | 19 STUCCO TRIM COLOR TO MATCH SHERWIN WILLIAMS SW - 7552 'BAUHAUS BLUFF' LRV 25%  |
| 09 METAL CANOPY AND HANGER RODS, TYP. HANGER RODS TO ALIGN WITH STOREFRONT MULLIONS AS INDICATED, RE: SECTIONS. COLOR TO MATCH SHERWIN WILLIAMS SW - 7663 'MONORAIL SILVER' LRV 47% | 20 STUCCO TRIM COLOR TO MATCH BENJAMIN MOORE PUTNAM IVORY, HC-39  |
| 10 CLEAR ANODIZED ALUMINUM STOREFRONT FRAME SYSTEM AND GLAZING AS SPECIFIED   | 21 DASHED LINE INDICATES ROOF TOP UNITS SCREENED FROM VIEW  |
| 11 EMERGENCY EXIT LIGHT FIXTURE, TO BE MOUNTED AT 9'-0" A.F.F. TO BOTTOM OF FIXTURE, TYPICAL  |   |

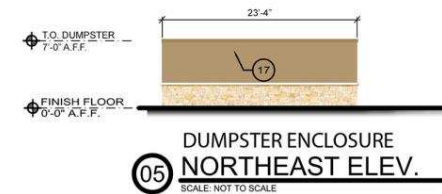
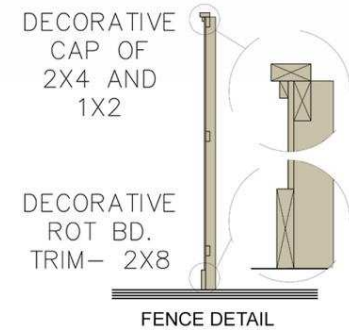
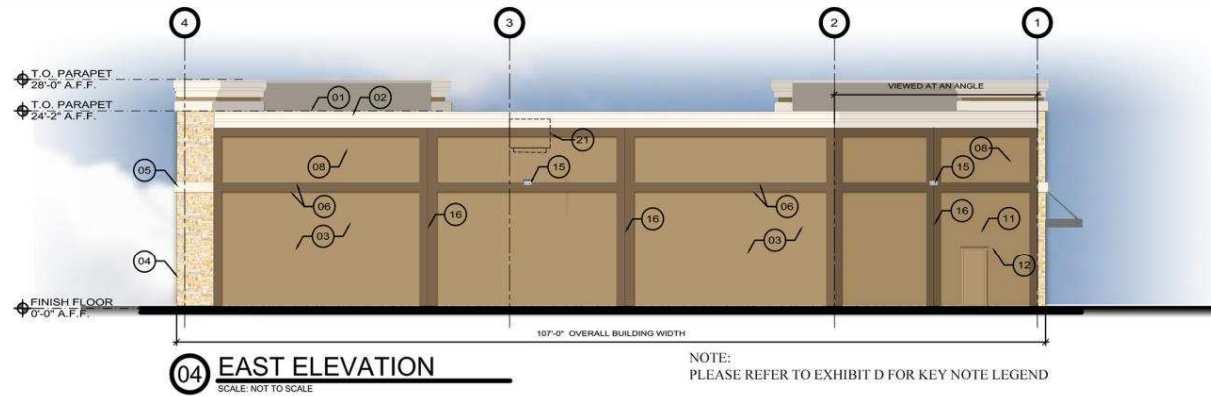
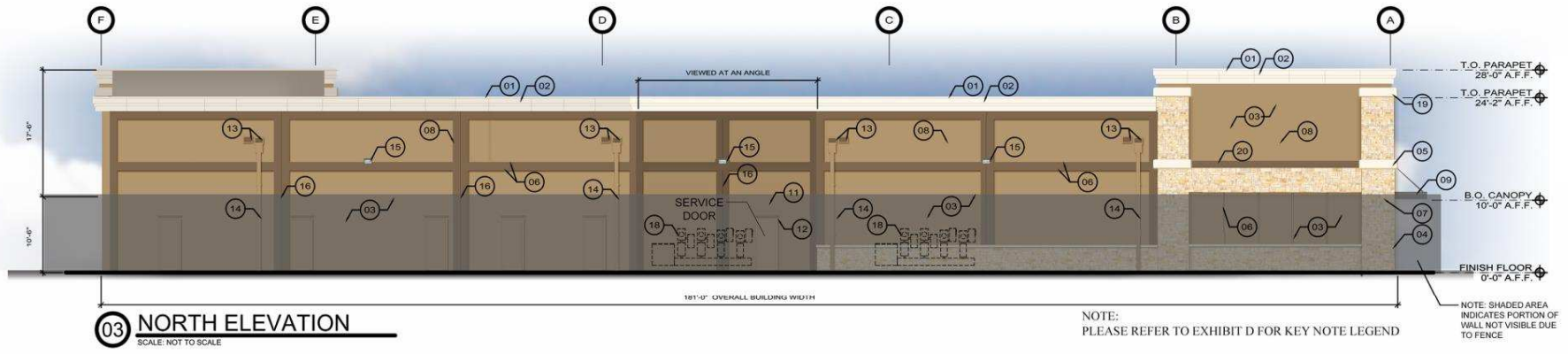


AIRRIDGE RETAIL CENTER  
SUGAR LAND, TEXAS

*ELEVATIONS  
EXHIBIT D*



## Exhibit E – Site Elevations



**AIRRIDGE RETAIL CENTER**  
SUGAR LAND, TEXAS

**ELEVATIONS  
EXHIBIT E**