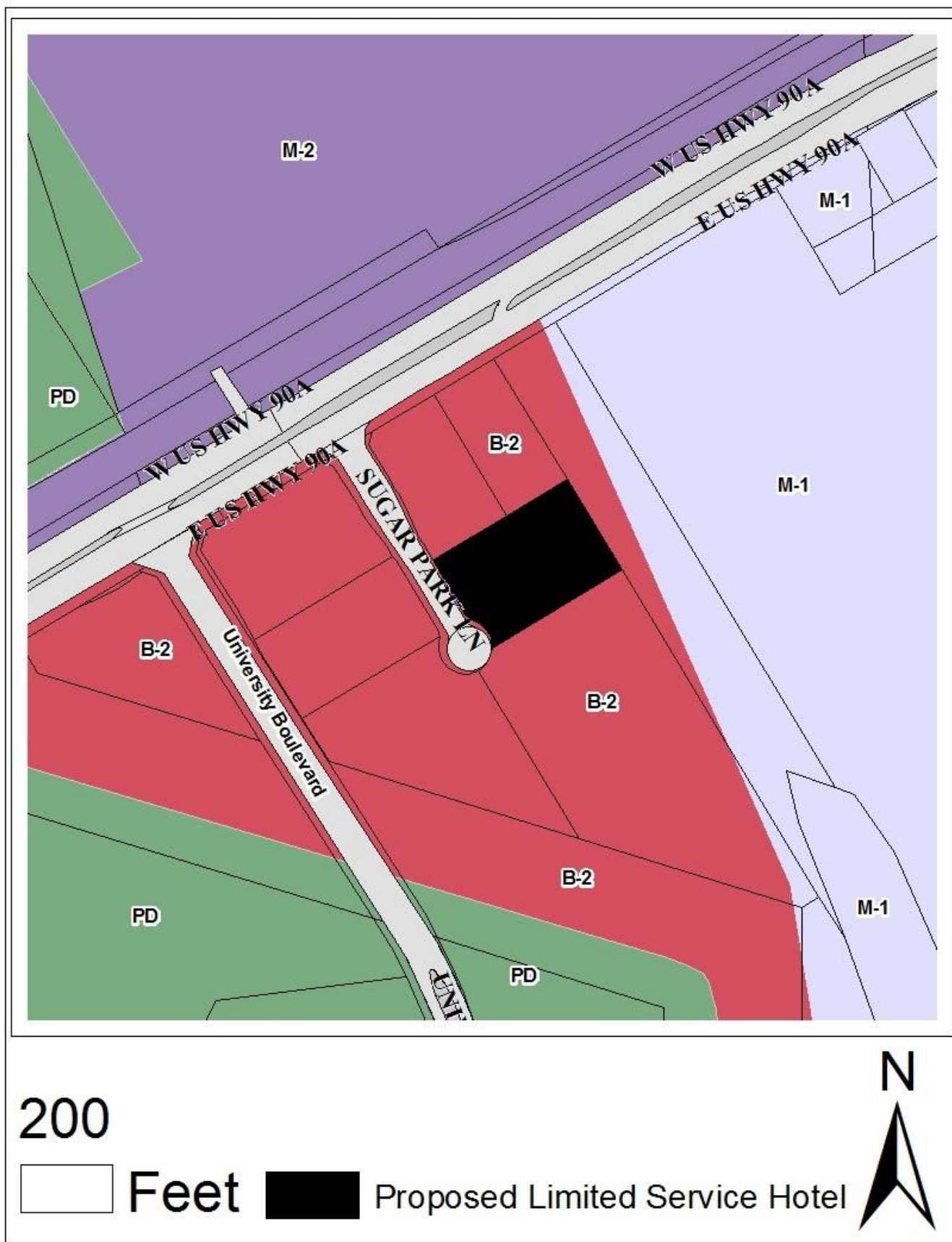


Vicinity Map



Aerial Image



260
Feet

 Limited Service Hotel



Applicant Letter Requesting Extension – 2017

December 12, 2017

Attention: City of Sugar Land Planning Department

Subject: ATAM Hospitality Ordinance No 2043

I'm requesting an extension for this ordinance for an additional 2 years.

Regards,

A handwritten signature in black ink, appearing to read "Ashik Patel", written in a cursive style.

Ashik V. Patel

President

ATAM Hospitality, LLC

Approved Ordinance No. 2043:

ORDINANCE NO. 2043

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SUGAR LAND, TEXAS, GRANTING A CONDITIONAL USE PERMIT FOR A LIMITED SERVICE HOTEL LOCATED SOUTHEAST OF THE INTERSECTION OF SUGAR PARK LANE AND U.S. HIGHWAY 90A IN GENERAL BUSINESS (B-2) ZONING DISTRICT WITHIN THE SUGAR LANE BUSINESS PARK.

WHEREAS, ATAM Hospitality, LLC has applied for a conditional use permit to operate a limited service hotel in a General Business (B-2) zoning district for the real property located southeast of the intersection of Sugar Park Lane and U.S. Highway 90A within the Sugar Lane Business Park; and

WHEREAS, the Planning and Zoning Commission recommends the permit be approved; NOW, THEREFORE;

**BE IT ORDAINED BY THE CITY COUNCIL
OF THE CITY OF SUGAR LAND, TEXAS:**

Section 1. That a conditional use permit to operate a limited service hotel is granted for the hotel, being all of the property identified as reserve "D" within the Sugar Lane Business Park Second Replat (F.B.C.O.P.R. Instrument No. 20080089).

Section 2. That the permit is subject to the following conditions:

- (1) The "Ground Floor Plan (Sheet A1.01)" includes a minimum of the following:
 - a. 1,200 square feet of meeting space
 - b. 1,500 square feet for indoor pool room
 - c. 750 square feet for fitness center
- (2) All trees shall be a minimum 12 feet in height and four inch caliper at the time of planting, as per the "Landscape Plan (Sheet L1.1)".

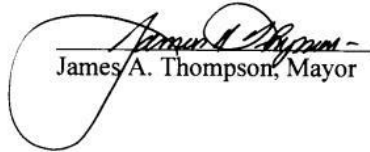
Section 3. That the premises must be developed, operated, and maintained in accordance with the ordinances of the City of Sugar Land and in accordance with the following Exhibits, attached to and incorporated into this ordinance by reference. If there is a conflict between a provision of this ordinance and a provision of the Code of Ordinances or the Sugar Land Development Code, the more stringent provision controls.

Exhibit A – Site Plan (Sheet A1.00)
Exhibit B – Ground Floor Plan (Sheet A1.01)
Exhibit C – Exterior Elevation (Sheet A3.01)
Exhibit D – Exterior Elevations (Sheet A3.02)
Exhibit E – Exterior Elevation (Sheet A3.03)
Exhibit F – Landscape Plan (Sheet L1.1)
Exhibit G – Irrigation Plan (Sheet L2.1)
Exhibit H – Color Renderings of Elevations

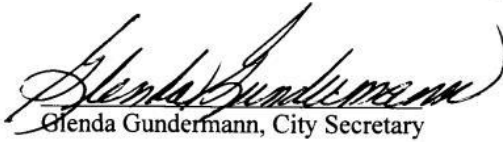
Section 4. That any person found guilty of intentionally violating this ordinance will be fined not more than \$2,000 for each offense.

APPROVED on first consideration on February 16, 2016.

ADOPTED upon second consideration on March 01, 2016.


James A. Thompson, Mayor

ATTEST:


Glenda Gundermann, City Secretary

APPROVED AS TO FORM:



Attachments:

- Exhibit A – Site Plan (Sheet A1.00)
- Exhibit B – Ground Floor Plan (Sheet A1.01)
- Exhibit C – Exterior Elevation (Sheet A3.01)
- Exhibit D – Exterior Elevations (Sheet A3.02)
- Exhibit E – Exterior Elevation (Sheet A3.03)
- Exhibit F – Landscape Plan (Sheet L1.1)
- Exhibit G – Irrigation Plan (Sheet L2.1)
- Exhibit H – Color Renderings of Elevations

PARKING REQUIREMENT	
PARKING REQUIRED:	
GUESTROOM:	91 GUESTROOMS 91 CARS
EMPLOYEE:	8 EMPLOYEES/2 PER CAR 4 CARS
TOTAL PARKING REQUIRED:	
95 CARS	
PARKING PROVIDED:	
REGULAR PARKING:	91 CARS
H.C. PARKING:	4 CARS
TOTAL PARKING PROVIDED:	
95 CARS	

BUILDING DATA	
BUILDING INFORMATION:	
4 STORIES, 91 GUEST ROOMS	
BUILDING HEIGHT:	
65'-2"	
OCCUPANCY TYPE:	
R1 (HOTEL)	
CONSTRUCTION TYPE:	
V-A	
BUILDING AREA:	
GROUND FLOOR	13,992 SF
SECOND FLOOR	13,964 SF
THIRD FLOOR	13,964 SF
FOURTH FLOOR	13,076 SF
TOTAL	54,996 SF

PROJECT INFORMATION	
LOCATION:	
RESERVE "D", SUGAR LANE BUSINESS PARK	
SITE AREA:	
78,384 S.F. (1.7995 ACRES)	
ZONING:	
GENERAL BUSINESS (B2)	
OPEN SPACE REQUIRED:	
15% (11,757.6 S.F.)	
OPEN SPACE PROVIDED:	
16,744 S.F.	
16,744 S.F./78,384 S.F. = 21.36%	
GROUND FLOOR BUILDING AREA:	
13,992 SF	
LOT COVERAGE PERCENTAGE:	
13,992 SF / 78,384 SF = 17.85%	

VICINITY



KEY MAP: 568 N

PLAZA 90
RETAIL CENTER

TRACT E

ALTUS
HOSPICE

SUGAR PARK LANE

MOODY
NATIONAL BANK

TRACT C

CANTEX SENIOR
COMMUNITIES

Exhibit A

1 SITE PLAN
SCALE: 1"=20'-0"



ISSUE	
NO.	DATE
1	10/26/2015
2	10/26/2015
3	10/26/2015
4	10/26/2015
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99	10/26/2015
100	10/26/2015

La Quinta Inn & Suites - Sugar Land Texas
Project No.
Sugar Park Lane
Sugar Land, Texas

TDCK
ARCHITECTS, INC.
1801 Southwest 1st, Suite 800, Fort Worth, TX 76104
Tel: 817-638-9875 Fax: 817-638-9876
Email: info@tdckarchitects.com
www.tdckarchitects.com



Project No. 15570 Date 10/26/2015

Drawing Title: SITE PLAN

Drawing Number: A1.00

ALL EXTERIOR ELEVATIONS	AREA	PERCENTAGE OF FINISH
PRIMARY FINISH		(76.81%)
BRICK VENEER	20,372 S.F.	61.85%
GLASS	4,886 S.F.	14.96%
SECONDARY FINISH		(23.19%)
STUCCO	6,249 S.F.	18.98%
PRE-FINISHED METAL	1,385 S.F.	4.21%
TOTAL	2,863 S.F.	100%

NOTE:
ALL PRE-FINISHED METAL SHALL BE EITHER FACTORY FINISHED OR ANODIZED,
PER THE REQUIREMENTS OF THE DEVELOPMENT CODE.

NORTH ELEVATION	AREA	PERCENTAGE OF FINISH
PRIMARY FINISH		(76.00%)
BRICK VENEER	6,715 S.F.	56.22%
GLASS	2,802 S.F.	21.76%
SECONDARY FINISH		(22.00%)
STUCCO	2,196 S.F.	18.30%
PRE-FINISHED METAL	442 S.F.	3.70%
TOTAL	11,945 S.F.	100%

SIGNAGE NOTE:
WALL SIGNAGE REQUIRES A SEPARATE APPLICATION AND MUST MEET
ALL THE REQUIREMENTS OF CHAPTER FOUR (SIGN REGULATION)
OF THE DEVELOPMENT CODE PRIOR TO APPROVAL.

COLOR SCHEDULE	
(C-1) — BRICK VENEER COLOR 1	(C-6) — DOOR & FRAME PAINT (AS NOTED) SW-7645 - THUNDER GRAY
(C-2) — BRICK VENEER COLOR 2 (DUCK WHITE)	(C-7) — ALUMINUM (TOWER PARAPET EXTENSIONS) PAC-CLAD - SILVER
(C-3) — STUCCO (FINE SAND TEXTURE) PAINTED SW-7031 - MEGA GREIGE	(C-8) — ALUMINUM (WINDOWS, STOREFRONT, & PTAC GRILLS) CLEAR ANODIZED
(C-4) — STUCCO (FINE SAND TEXTURE) SW-7010 - DUCK WHITE	(C-9) — ALUMINUM FLUSH PANELS (PORTE-COCHERE) PAC-CLAD - STONE WHITE FINISH
(C-5) — BRICK SOLDIER COURSE	

TOWER, COPING, PORTE-COCHERE METAL FABRICATOR
MFG: METAL-ERA
CONTACT: DANA SPURGEON
(P) 262.650.6449

NOTE:
ALL ROOF TOP EQUIPMENTS MUST BE SCREENED FROM THE PUBLIC VIEW
BY THE PARAPET WALLS.



ISSUE		
NO.	DATE	DESCRIPTION
1	10/26/15	SITE DEVELOPMENT REVIEW
2	10/26/15	REVISIONS PER CITY COMMENTS

La Quinta Inn & Suites - Sugar Land Texas
Project No.
Sugar Park Lane
Sugar Land, Texas

TDCK
ARCHITECTS, INC.
3801 Southwest Fwy, Suite 800, Houston, TX 77064
Tel: 713 424-9000 Fax: 713 471-1311
email: jason@tdckarchitects.com
www.tdckarchitects.com



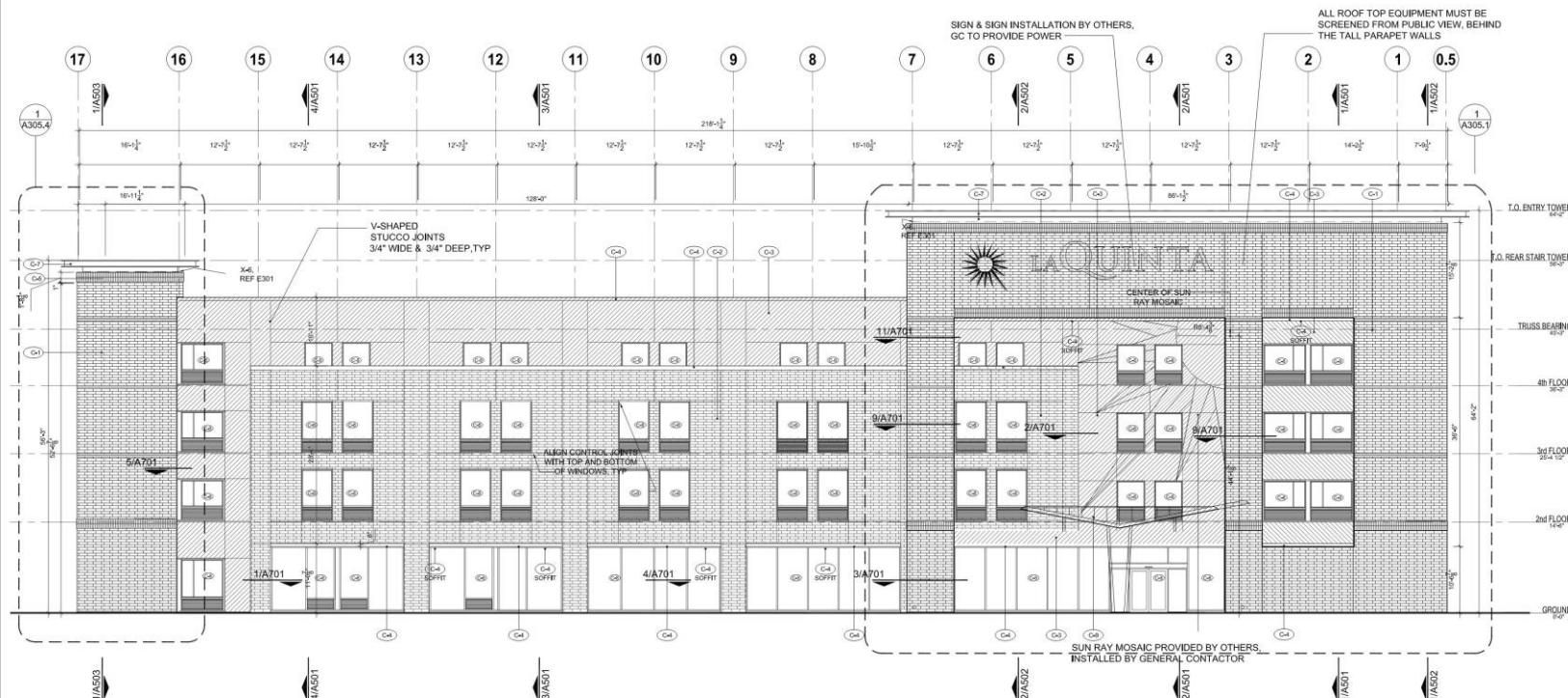
Project No. 15570 Date 10/26/2015

Drawing Title:

EXTERIOR ELEVATION

Drawing Number

A3.01



1 NORTH (FRONT) ELEVATION
SCALE: 1/8" = 1'-0"










Exhibit C

WEST ELEVATION	AREA	PERCENTAGE OF FINISH
PRIMARY FINISH		(87.40%)
BRICK VENEER	3,642 S.F.	83.94%
GLASS	150 S.F.	3.46%
SECONDARY FINISH		(12.60)
STUCCO	401 S.F.	9.24%
PRE-FINISHED METAL	146 S.F.	3.36%
TOTAL	4,339 S.F.	100%

NOTE:
ALL PRE-FINISHED METAL SHALL BE EITHER FACTORY FINISHED OR ANODIZED,
PER THE REQUIREMENTS OF THE DEVELOPMENT CODE.

EAST ELEVATION	AREA	PERCENTAGE OF FINISH
PRIMARY FINISH		(78.22%)
BRICK VENEER	3,117 S.F.	72.72%
GLASS	150 S.F.	3.50%
SECONDARY FINISH		(23.78%)
STUCCO	831 S.F.	19.39%
PRE-FINISHED METAL	188 S.F.	4.39%
TOTAL	4,286 S.F.	100%

COLOR SCHEDULE

	— BRICK VENEER COLOR 1		— DOOR & FRAME PAINT (AS NOTED) SW-7645 - THUNDER GRAY
	— BRICK VENEER COLOR 2 (DUCK WHITE)		— ALUMINUM (TOWER PARAPET EXTENSIONS) PAC-CLAD - SILVER
	— STUCCO (FINE SAND TEXTURE) PAINTED SW-7031 - MEGA GREIGE		— ALUMINUM (WINDOWS, STOREFRONT, & PTAC GRILLS) CLEAR ANODIZED
	— STUCCO (FINE SAND TEXTURE) SW-7010 - DUCK WHITE		— ALUMINUM FLUSH PANELS (PORTE-COCHERE) PAC-CLAD - STONE WHITE FINISH
	— BRICK SOLDIER COURSE	<div>TOWER, COPING, PORTE-COCHERE METAL FABRICATOR MFG: METAL-ERA CONTACT: DANA SPURGEON (P) 252.650.6449</div>	

NOTE:
ALL ROOF TOP EQUIPMENTS MUST BE SCREENED FROM THE PUBLIC VIEW
BY THE PARAPET WALLS.

SIGNAGE NOTE:
WALL SIGNAGE REQUIRES A SEPARATE APPLICATION AND MUST MEET
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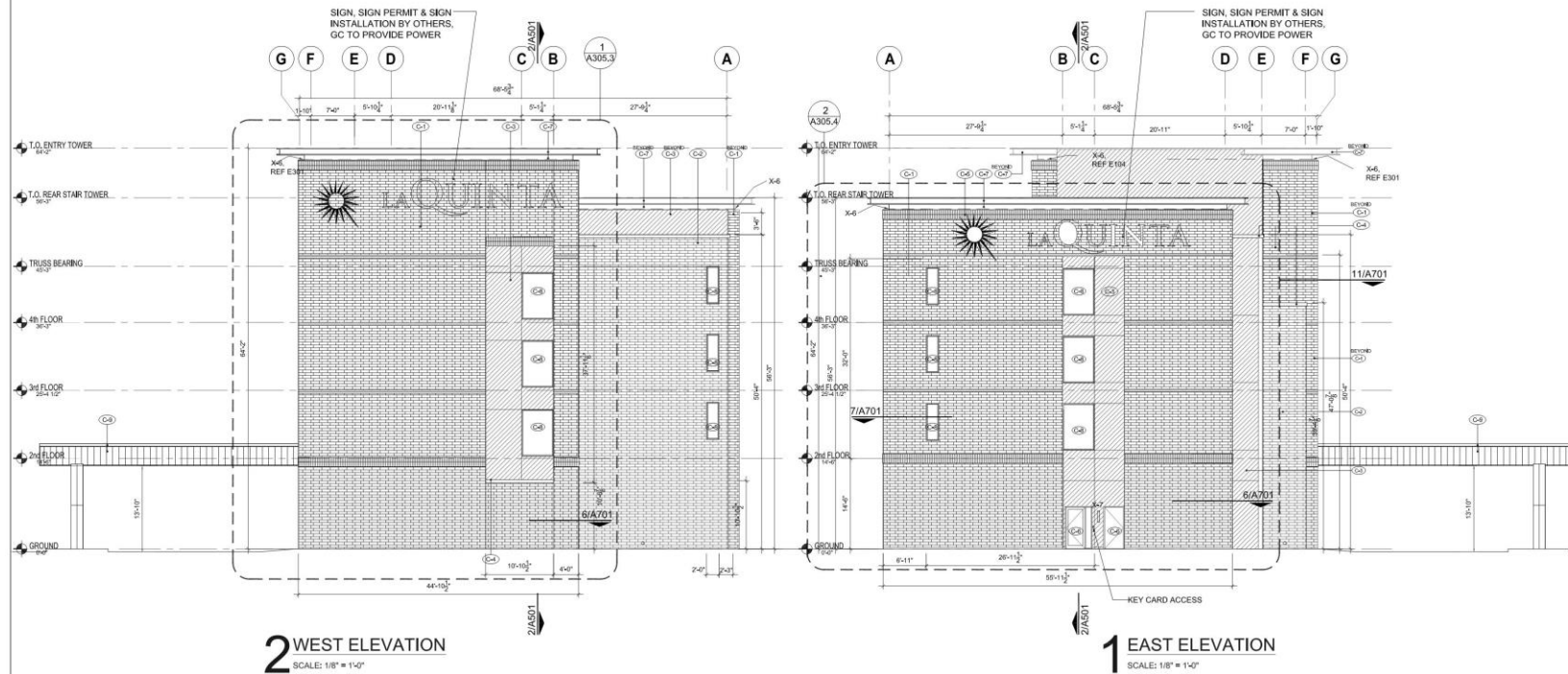


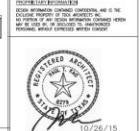
Exhibit D



ISSUE	NO.	DATE	DESCRIPTION
	1	10/15/15	SITE DEVELOPMENT REVIEW
	2	10/26/15	REVISIONS PER CITY COMMENTS

La Quinta Inn & Suites - Sugar Land Texas
Project No. 15570
Sugar Park Lane
Sugar Land, Texas

TDCK
ARCHITECTS, INC.
8801 Southwest Fwy, Suite 800, Houston, TX 77064
Tel: 713 424-9876 Fax: 713 471-1311
email: tdc@tdckarchitects.com
tdckarchitects.com



Project No. 15570
Date 10/26/2015
Drawing Title:

EXTERIOR ELEVATIONS

Drawing Number
A3.02

SOUTH ELEVATION	AREA	PERCENTAGE OF FINISH
PRIMARY FINISH		(72.13%)
BRICK VENEER	6,898 S.F.	56.02%
GLASS	1,084 S.F.	16.11%
SECONDARY FINISH		(27.87%)
STUCCO	2,822 S.F.	22.92%
PRE-FINISHED METAL	809 S.F.	4.95%
TOTAL	12,313 S.F.	100%

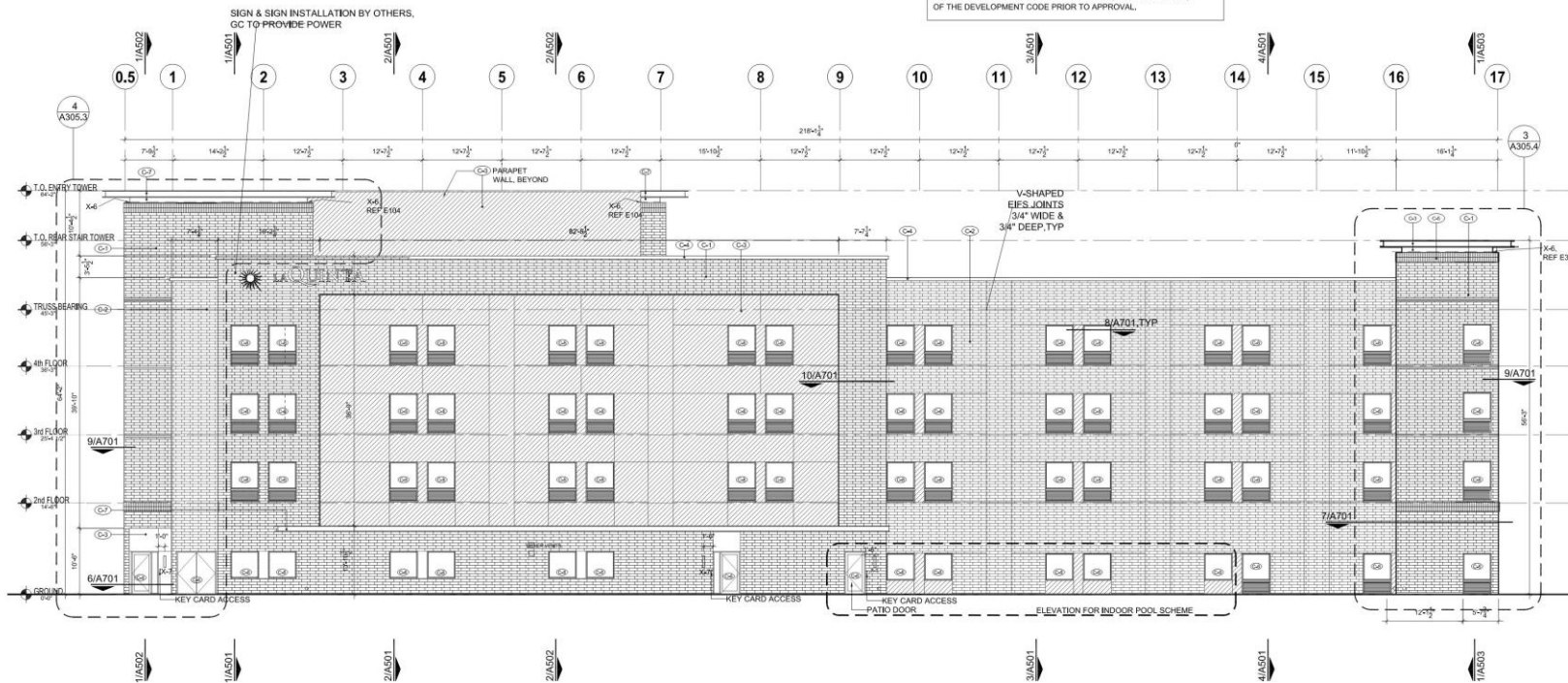
NOTE:
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PER THE REQUIREMENTS OF THE DEVELOPMENT CODE.

COLOR SCHEDULE	
(C-1) — BRICK VENEER COLOR 1	(C-6) — DOOR & FRAME PAINT (AS NOTED) SW-7645 - THUNDER GRAY
(C-2) — BRICK VENEER COLOR 2 (DUCK WHITE)	(C-7) — ALUMINUM (TOWER PARAPET EXTENSIONS) PAC-CLAD - SILVER
(C-3) — STUCCO (FINE SAND TEXTURE) PAINTED SW-7031 - MEGA GREIGE	(C-8) — ALUMINUM (WINDOWS, STOREFRONT, & PTAC GRILLS) CLEAR ANODIZED
(C-4) — STUCCO (FINE SAND TEXTURE) SW-7010 - DUCK WHITE	(C-9) — ALUMINUM FLUSH PANELS (PORTE-COCHERE) PAC-CLAD - STONE WHITE FINISH
(C-5) — BRICK SOLDIER COURSE	

TOWER, COPING, PORTE-COCHERE METAL FABRICATOR
MFG: METAL-ERA
CONTACT: DANA SPURGEON
(P) 282.650.6449

NOTE:
ALL ROOF TOP EQUIPMENTS MUST BE SCREENED FROM THE PUBLIC VIEW
BY THE PARAPET WALLS.

SIGNAGE NOTE:
WALL SIGNAGE REQUIRES A SEPARATE APPLICATION AND MUST MEET
ALL THE REQUIREMENTS OF CHAPTER FOUR (SIGN REGULATION)
OF THE DEVELOPMENT CODE PRIOR TO APPROVAL.



1 SOUTH (REAR) ELEVATION
SCALE: 1/8" = 1'-0"

Exhibit E



NO.	DATE	DESCRIPTION
1	10/15/15	SITE DEVELOPMENT REVIEW
2	10/26/15	REVISION PER CITY COMMENTS

La Quinta Inn & Suites - Sugar Land Texas
Project No.
Sugar Park Lane
Sugar Land, Texas

TDCK
ARCHITECTS, INC.
1801 Southwest 10, Suite 8 - Houston, TX 77058
Tel: 713 624-9850 Fax: 713 671-1311
email: jason@tdckarchitects.com
tdckarchitects.com



Project No. Date
15570 10/26/2015
Drawing Title:
EXTERIOR
ELEVATION

Drawing Number
A3.03

Landscape Legend:

Symbolic Name	Quantities (Verify)	Botanical Name	Common Name	Size and Plant Requirements
PM	5	Platanus Mexicana	Mexican Sycamore	4" cal. 100 gal. minimum 12' Ht. single trunk
LO	10	Quercus Virginiana	Live Oak	4" cal. 100 gal. container; minimum 12' Ht. single trunk
UP	12	Ulmus Parvifolia	'Alder' Elm	4" cal. 100 gal. minimum 12' Ht. single trunk
MG	4	Magnolia Grandiflora	O. D. Blanchard Magnolia	4" cal. 100 gal. minimum 12' Ht. single trunk
LI	3	Lagerstroemia Indica	Crape Myrtle	2" cal. 45 gal. container; minimum 9' Ht. min.
BT	5	Callistemon Citrinus	Boitebush Tree	2" cal. 30 gal. container; 7' to 8' Ht.
KR	60	Rosa Radrazz	Knockout Rose	5 gal. planted at 30" o.c. x 24" height x 24" spread at time of planting.
WL	608	Ligustrum Japonica	Waxleaf Ligustrum	5 gal. planted at 36" o.c. irregularly double spaced 30" height x 24" spread at time of planting.
RI	50	Raphiolepis Indica	Clara Indian Hawthorn	5 gal. planted at 30" o.c. x 24" height x 24" spread when planted.
DB	84	Callistemon Citrinus	Little John Boitebush	5 gal. planted at 30" o.c. x 24" Ht. x 24" spd. when planted.
NO	164	Nerium Oleander	Pink Oleander	5 gal. planted at 30" o.c. x 24" Ht. x 24" spd. when planted.
LP	120	Lonicera Chrysantha	Purple Pines	5 gal. planted at 30" o.c. x 24" Ht. x 24" spd. when planted.
IR	104	Morus Dietels Indica	Butterfly Iris	1 gal. planted at 18" o.c.
FL	154	Dianella Fendleri	Variegated Flax Lily	1 gal. planted at 18" o.c.
LC	485	Lantana Camara	Gulf Lantana	1 gal. planted at 12" o.c.
WT	1035	Wisteria Tricolora	Wisteria	4" pot planted at 12" o.c.
LM	717	Liriodendron Daylily	Big Blue Daylily	1 gal. planted at 24" o.c. within LM bed.
DL	60	Hemerocallis Sp.	Daylily	1 gal. planted at 24" o.c. within LM bed.
Color	320	Seasonal Color	Annuals	4" pot planted at 8" o.c. Color variety to be selected by Owner.
Grass	Verify S.F.	Cynodon Dactylon	Common Bermuda	Hydroseeded for all areas within limits of the project including right of way areas. All areas to be graded shall be cleaned up and fine graded with a half inch layer of topsoil to adhere to civil grading/irrigation plan.
Edge	Verify L.F.			Proposed 15" wide maintenance edge to be constructed along edge of building where it meets landscape. Excavate a 15" wide channel x 3" deep. Compact subgrade and install filter cloth/membrane over entire channel. Install washed black lava rock over channel. Reestablish maintenance edge with composite border board.

Owner's Responsibility for Maintenance:
Client acknowledges and agrees that proper Project maintenance is required after the Project is complete. A lack of or improper maintenance in areas such as, but not limited to, operation and maintenance of automatic irrigation system, all site drainage and all planting materials maintenance may result in damage to property or persons. Client further acknowledges that he is solely responsible for the removal of any dead or damaged materials.

Landscape Contractor's Responsibility:
All drainage surface and subsurface of a landscape area within the project limits shall be the responsibility of the retaining landscape contractor and landscape maintenance company. All grading of areas along all building areas must absolutely have positive slope away from building, in no case, shall any plant bed be constructed along edge of building that will impede water flow away from building. If planting beds are located at edge of building, landscape contractor shall make sure that these areas drain properly, surface and subsurface areas. Contractor shall install rock border along building to prevent water from penetrating underneath building during construction.

NOTES:
REFER TO FINISHED GRADES SHOWN ON PROJECT CIVIL GRADING PLAN. IF ANY REQUIRED FINAL ELEVATIONS, GRADES, DRAINAGE OR OTHER ALTERNATIONS, THE THICKNESS OF SOIL, GRASS AND LANDSCAPING MATERIALS SHALL BE DEDUCTED FROM THE FINISHED GRADE ELEVATIONS IN THESE CIVIL GRADING PLANS IN ORDER TO DETERMINE THE GROUND ELEVATIONS SURROUNDING CONSTRUCTION.

Exhibit F

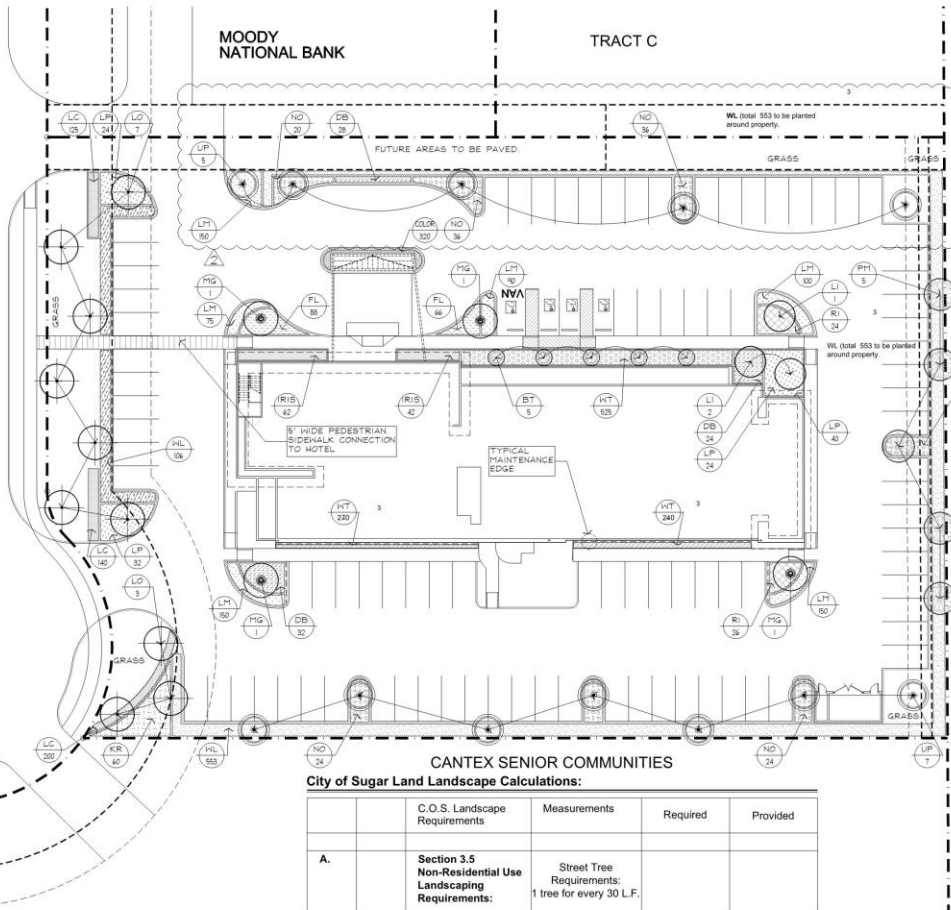
1 LANDSCAPE PLAN
SCALE: 1" = 30'-0"



SUGAR PARK LANE

MOODY NATIONAL BANK

TRACT C



CANTEX SENIOR COMMUNITIES

City of Sugar Land Landscape Calculations:

	C.O.S. Landscape Requirements	Measurements	Required	Provided
A.	Section 3.5 Non-Residential Use Landscaping Requirements:	Street Tree Requirements: 1 tree for every 30 L.F.		
1	Sugar Park Lane	231.00 L.F.	8	10
B.	Section 3.6 Front Yard Parking Lot Landscape Requirements:	Street Shrub Requirements: 10 shrubs for every 30 L.F.		
1	Sugar Park Lane	231.00 L.F.	80	126
C.	Section 3.8 Interior Parking Lot Landscaping Requirements:	Number of cars/ 20 x 162 = S.F.	Required 96/20 = 48 x 162 = 777.60 S.F. Required.	3,148.00 S.F. To be verified.
D.	Landscape S.F. Calculations: 15%	79,695.00 S.F.	11,954.25 S.F.	16,744.00 S.F.



Wong & Associates, Inc.
P.O. Box 2020
Houston, Texas 77002-0020
Member: American Society of Landscape Architects



ISSUE	NO.	DATE	DESCRIPTION
1	16.12.15		ISSUE FOR PERMIT
2	16.07.15		CODE COMMENT
3	16.12.15		CODE COMMENTS

La Quinta Inn & Suites - Sugar Land Texas
Project No.
Sugar Park Lane
Sugar Land, Texas

TDCK
ARCHITECTS, INC.
3801 Southwest Fwy, Suite 8 Houston, TX 77064
Tel: 713 432-9676 Fax: 713 432-1311
email: jason@tdckarchitects.com

Project No. Date
15070 09/16/2015
Drawing Title:

LANDSCAPE PLAN

Drawing Number
L1.1

Irrigation Legend:

Sym	Sym	Irrigation Equipment and Manufacturer	Sprinkler Specification	GPM
A	●	Hunter 1/2" Rotary Sprinkler		
B	●	1/2" ADS - 4.1.5 nozzle Part Circle	30'-0" radius	2.00
C	●	Rainbird 1800 Pop Up Sprinkler or equal		
D	●	RB 1800 Full 360 degree	18'-0" radius	3.70
E	●	RB 1800 Half 180 degree	18'-0" radius	1.85
F	●	RB 1800 Cir. 90 degree	18'-0" radius	0.93
G	●	RB 1800 Half 180 degree	12'-0" radius	1.30
H	●	RB 1800 Cir. 90 degree	12'-0" radius	0.65
I	●	Rainbird 1812 Shrub Pop Up Sprinkler or equal		
J	●	RB 1812 Full 360 degree mounted on 24" Sch. 40 riser	12'-0" radius	2.60
K	●	RB 1812 Half 180 degree	12'-0" radius	1.30
L	●	RB 1812 Cir. 90 degree	12'-0" radius	0.65
M	●	RB 1812 Low Angle Center Strip Nozzle	4x30'	1.21
N	●	RB 1812 Low Angle End Strip Nozzle	4x30'	0.61
O	●	Rainbird PEB series Electric Remote Control Valves with sizes as noted plan		
P	●	Gate Valve		
Q	■	One (1) 1/2" water meter. Supplied and installed by irrigation contractor for the irrigation system. Water meter to be installed as per city and county codes.	Verify point of connection.	
R	■	One (1) 1/2" FESCO 765 Backflow Prevention Device to be installed as per city and county code by irrigation contractor. Install: BPOD Guardsback Enclosure GS-3.3 to protect backflow device. Verify location on site.		
S	■	Rainbird 33 DRC quick coupling valve (valves to be installed below grade inside valve box)	Total (8) (8) located on site.	
T	■	One (1) Rainbird ESP 12 LX Irrigation controllers. Verify location and coordinate electrical requirements for controller with General contractor and / or owner. Install: Rainbird Rain Sensors within close proximity of controller location. Verify location with Owner.		
U	---	Pressure Line shall be 2" sch. 40 PVC pipe. Install "Thrust Blocks" as required. Install appropriate Gate Valves where noted.		
V	▲	4" Sch. 40 PVC irrigation sleeves unless noted as 6" on plan. Verify location of all sleeves on project site.		
W	▲	1/2" Sch. 40 PVC non pressure line.		
X	▲	3/4" Sch. 40 PVC non pressure line.		
Y	▲	1" Sch. 40 PVC non pressure line.		
Z	▲	1-1/2" Sch. 40 PVC non pressure line.		
AA	○	Sequence of Irrigation Valve		
AB	○	Size of Irrigation Valve		

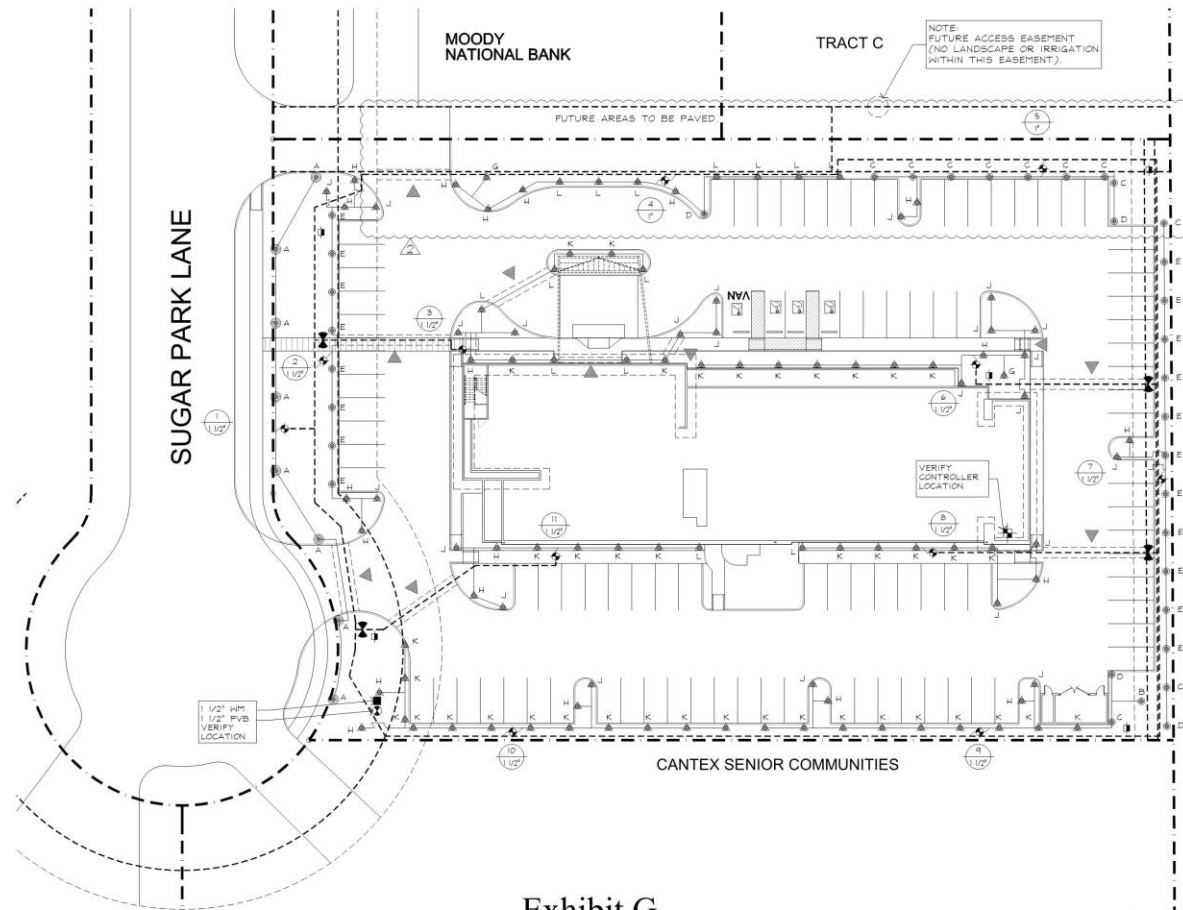


Exhibit G

Note:

- A. Irrigation contractor shall be responsible for providing all flow rate calculations for the proposed irrigation system.
- B. Quick couplers shall be installed in a purple box and labeled as "non-potable".
- C. An isolation valve upstream of each quick coupler.
- D. Provide method of pressure regulation on plan.
- E. Spray will not be allowed on any impervious surfaces.
- F. Areas of less than 40' shall have no above ground spray.

Disclaimer

Wong & Associates, Inc. shall not be responsible for the operation and/or maintenance of the irrigation system, once the site of flow acceptance by the owner is established. All parties and contractors are responsible for the proper and safe use of the irrigation system. The Owner shall be responsible for the monitoring and the maintenance of the irrigation system. Monthly routine service visits of all irrigation system components and building areas are recommended. All work performed by the Owner or others for the use of the irrigation system or any irrigation system work are performed by the irrigation contractor shall be responsible for providing all guarantees and warranties for the irrigation system. The irrigation contractor shall be ultimately responsible for the installation and proper operation of the irrigation system.

1
L&L
IRRIGATION PLAN
SCALE: 1" = 30'-0"



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ISSUE	NO.	DATE	DESCRIPTION
1	18.12.15		ISSUE FOR PERMIT
2	18.27.15		CDS COMMENT

La Quinta Inn & Suites - Sugar Land Texas
Project No. **Sugar Park Lane**
Sugar Land, Texas

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Project No. 15570 Date 09/16/2015
Drawing Title: **IRRIGATION PLAN**

Drawing Number **L2.1**



North (Front) Elevation



West Elevation



South (Rear) Elevation



East Elevation

LAQUINTA Inn & Suite
 Sugar Park Lane
 Sugar Land Texas

Exhibit H

TDCK
 ARCHITECTS, INC.