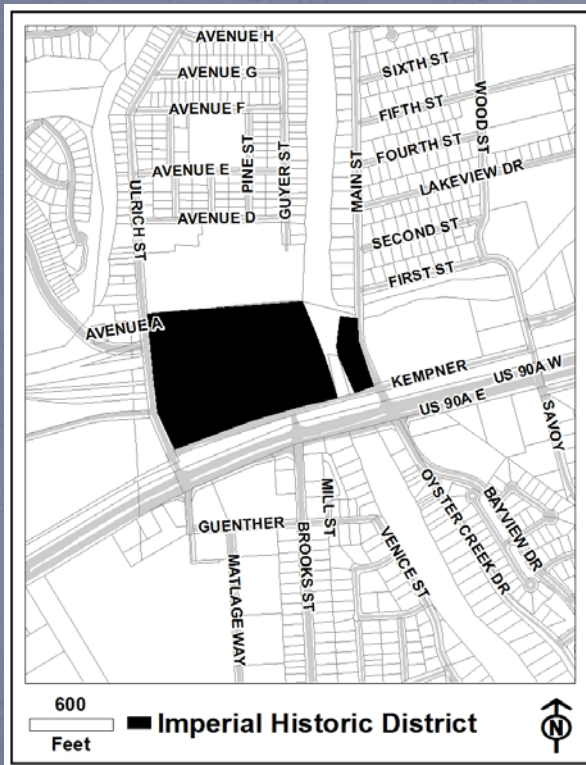
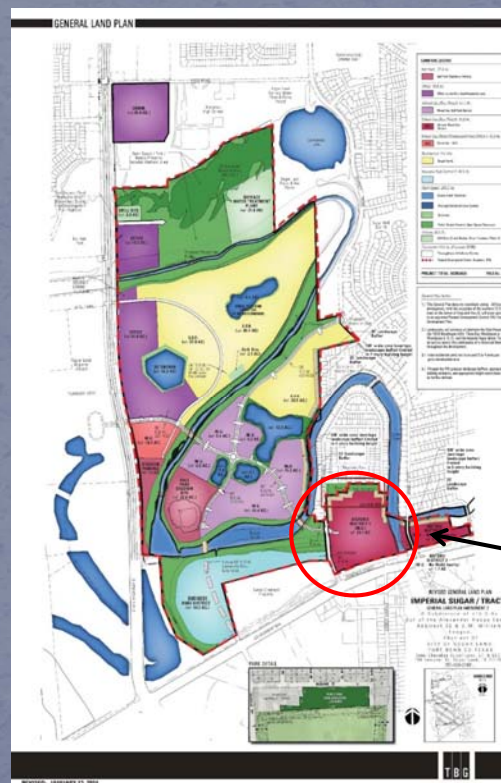


Location



- 27 Acre PD FDP for Mixed Use Dev.
- Part of overall Gen. Land Plan- Imperial (Hist. Dist. 1)
- Approved PD Ord. 2036 in Dec. 2015
- Multiple Exhibits- including B-1C Site Plan

Approved Imperial General Land Plan



Imperial Mkt.

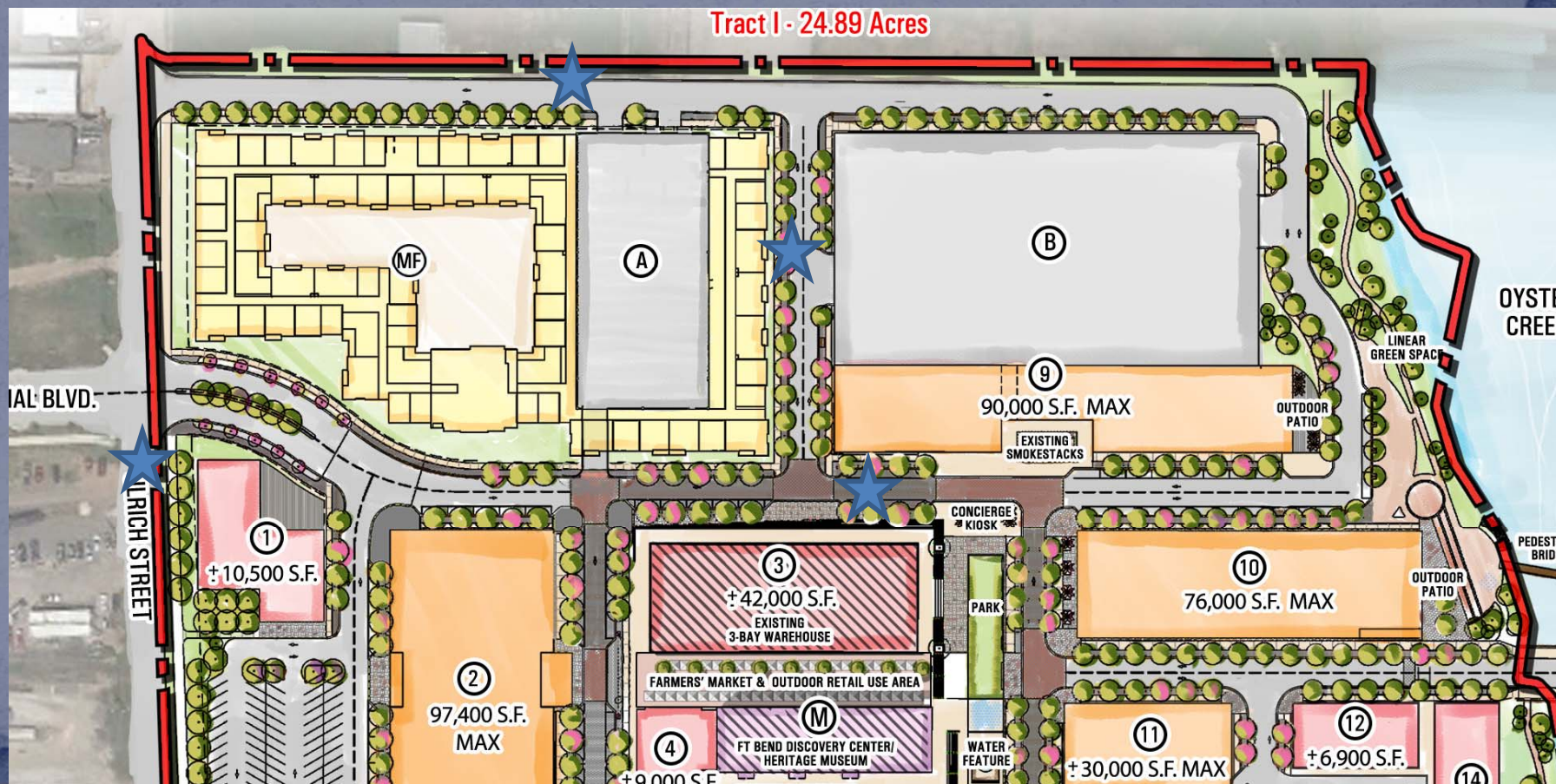
Exhibit B-1C from IM PD Ord. 2036 (2015)



Square Footage Revisions for Bldgs. In Amend.

Specific Building:	2015 PD Ord. Sq.	Proposed Amend. Sq. Ft. Max.	Difference
Bldg. 2 (Cinema)	77,730	97,400	19,670
Bldg. 9 (Smokestack)	56,450	90,000	33,550
Bldg. 10 (Wharf)	59,330	76,000	16,670
Bldg. 11 (Hotel Annex.)	10,700	30,000	19,300

Close Up of Imperial Mkt. Core Area (2018)



Proposed Exhibit B-1C for IM PD Amend. (2018)



Technical Examination by Staff:

- Square footage revisions relate to Cinema Bldg. (2), Smokestack Bldg. (9), Wharf Bldg. (10), and to Hotel Annex. Bldg. (11) only
- Applicant prepared updated Traffic Impact Analysis information (TIA) and proved up parking analysis with square footage changes
- Results reviewed by staff show that amendment does not change traffic mitigation measures (no significant impact) and parking proposed for site is adequate for uses and square footage

Planning & Zoning Commission Review:

- Commission public hearing and review took place on September 12, 2017- No speakers from general public
- Questions and Discussion centered around specifics of the sq. ft. and the four bldgs. in question (Hotel Annex, Smokestack Bldg., Wharf Bldg., and Cinema)
- Staff presented information regarding vetting the sq. ft. increase against traffic and parking data / analysis
- Recommendation of approval from Commission to Council w/ condition of stating “SF Max.” for the 4 Bldgs.

Points for Consideration:

- Revisions relate specifically to Exhibit B-1C only
- No changes to building locations / footprints or to existing historic buildings, No changes to multi-family numbers
- Specific to the Cinema, Smokestack, Wharf, and Hotel Annex Bldg.
- PD amendment has been reviewed against updated traffic and parking information
- No significant changes to building elevations or visual look of project

Public Hearing Requirements:

- Posting notice in local paper
- Notification to property owners within 200'
- City website
- Courtesy Sign for property
- At this time, staff has received 1 inquiry

Recommendation:

- **Approval of Imperial Market PD Amendment- Ordinance No. 2121 for Revised Exhibit B-1C**

Next Steps

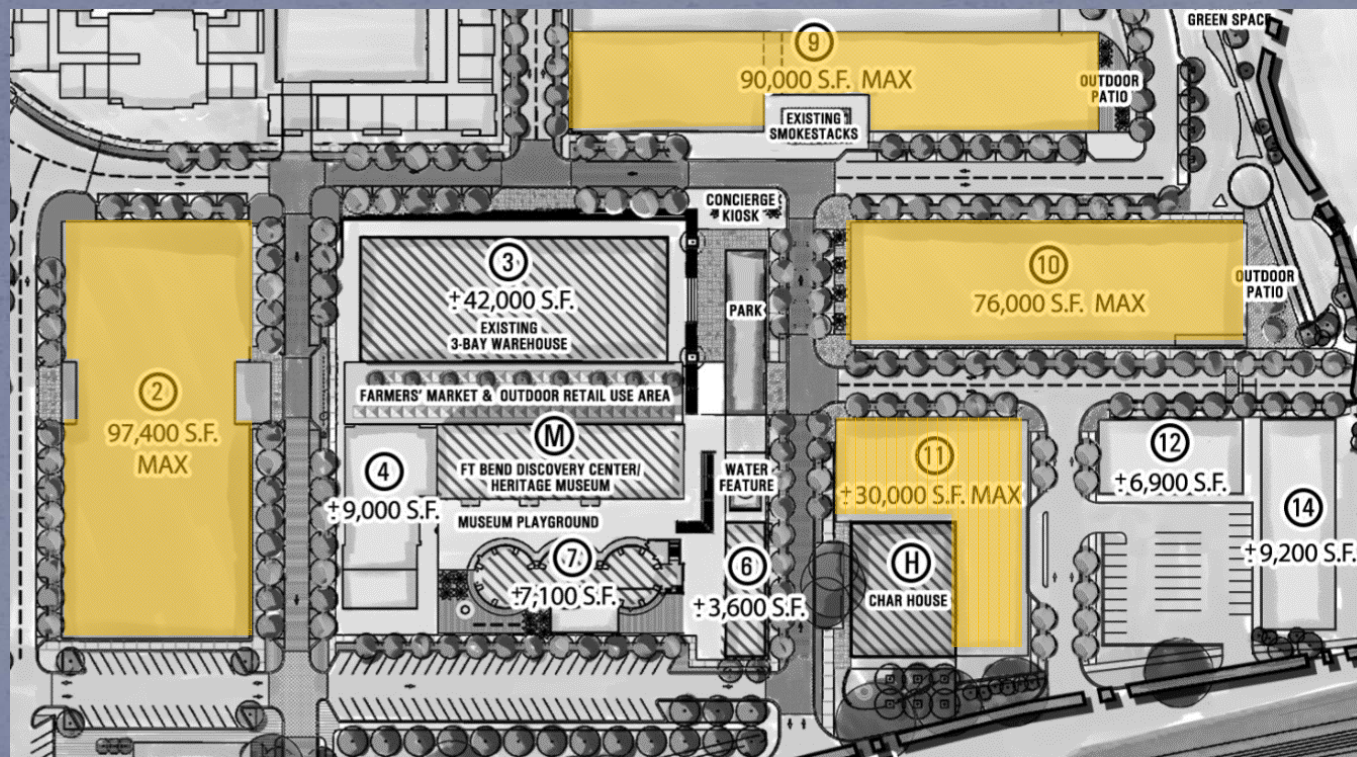
- **Hold Public Hearing, followed by First Reading of PD Ordinance No. 2121**
- **2nd Reading of PD Ordinance at subsequent Council Meeting**

Applicant Presentation

Summary

- The square footages of Buildings 9, 10, and 11 in the 2015 PD need to be amended to address inconsistencies with the original development program and design
- Building 2 (Cinema) has been fine tuned to meet specific tenant needs
- These changes do not affect the building footprints or overall scope/ scale of the development
- These changes do not have any adverse affects to the overall traffic and parking analyses

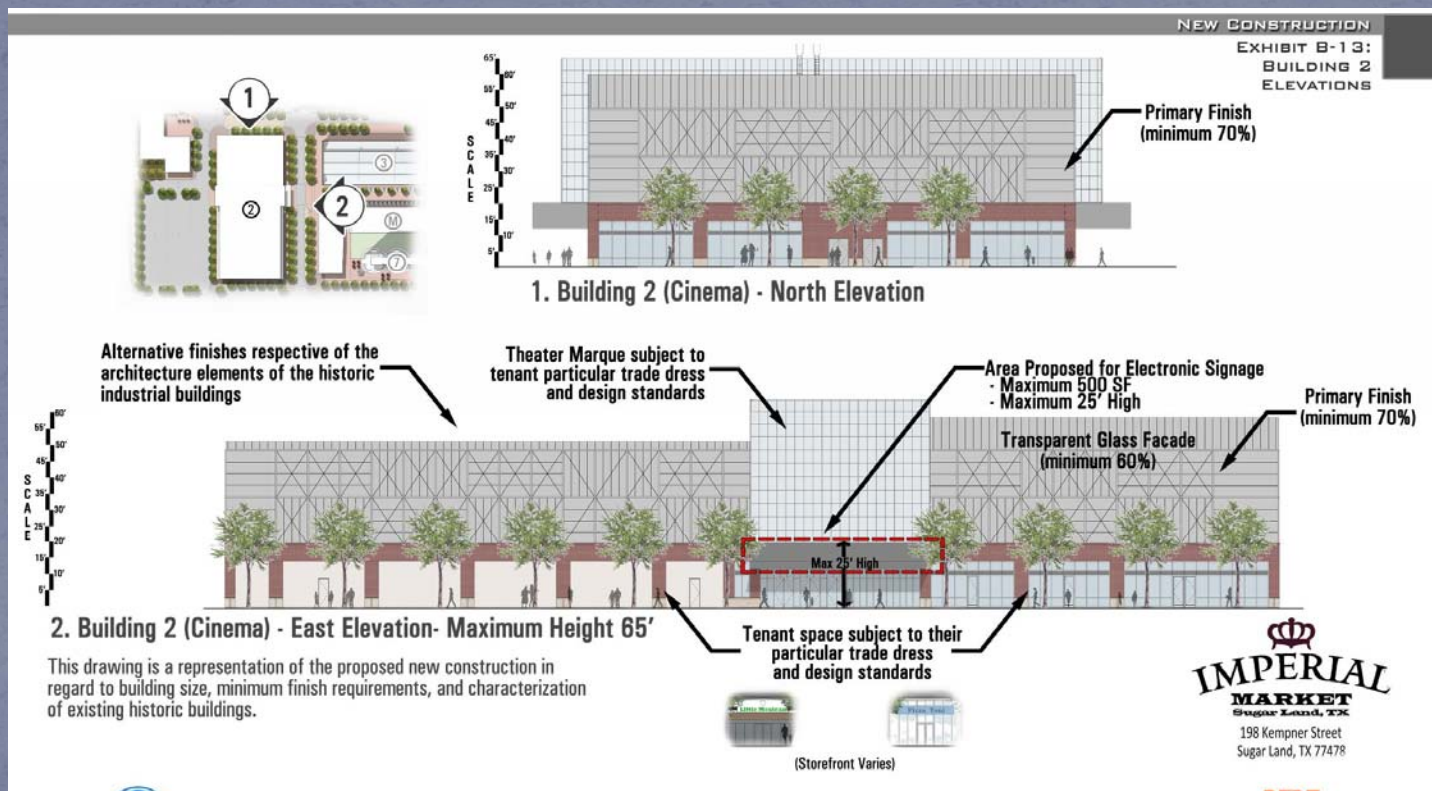
Close Up of Imperial Mkt. Core Area (2018)



Building 2 (Cinema)

- Captured the 2nd level terraces on the north side of the building and part of the internal atrium for theater support space and larger seating areas
- Cinema seat count has decreased by 483 to allow for larger individual seats which will improve the quality of the overall movie going experience
- Building height and materials are still within the original PD requirements

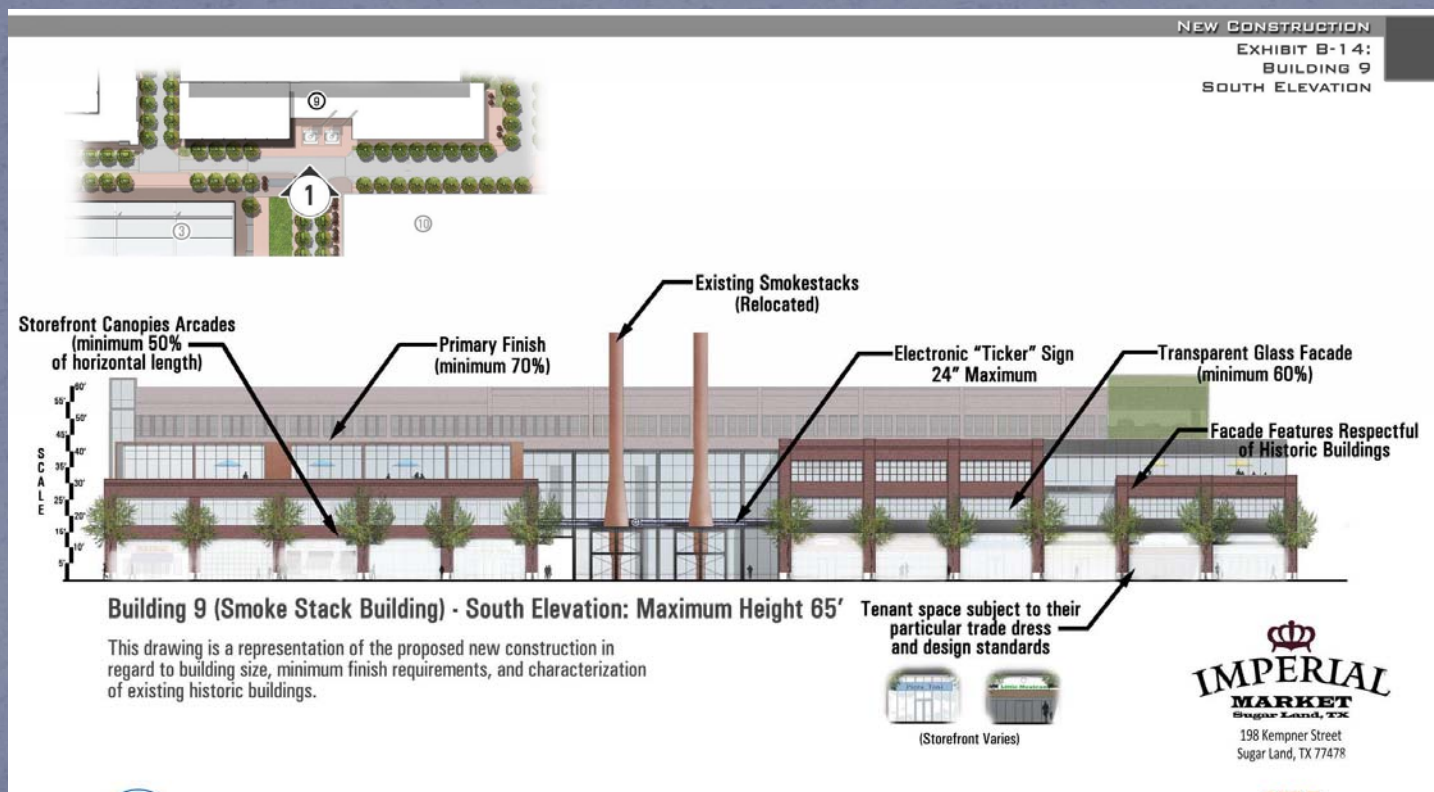
Building 2 (Cinema) Elevation (Exhibit B-13)



Building 9

- 33,550sf increase due to inclusion of the actual square footage of the third floor as shown in the original PD elevation
- There are no changes to the elevation from the original PD document

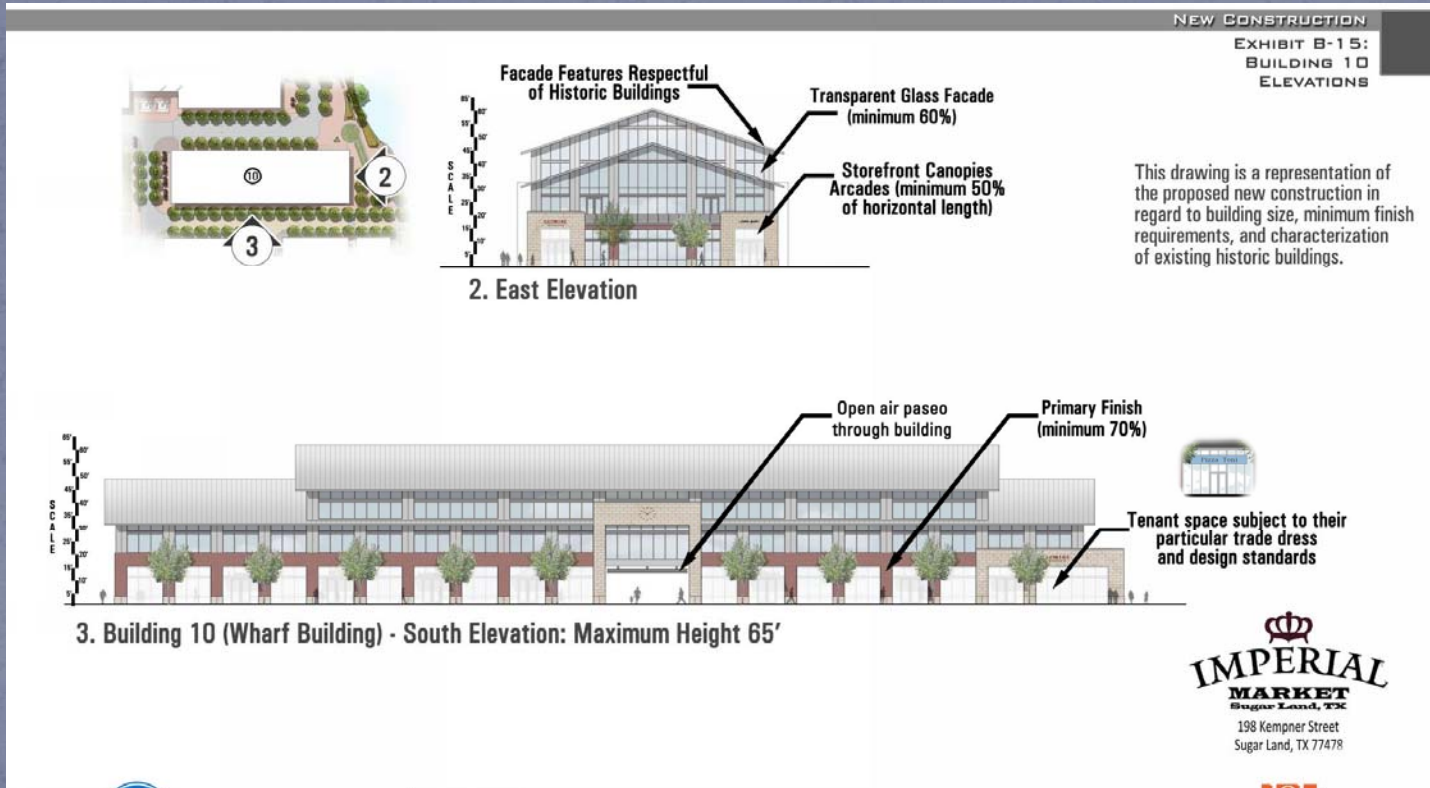
Building 9 Elevation (Exhibit B-14)



Building 10

- 16,670sf increase due to the inclusion of square footage of the third floor as shown in the original PD elevation
- While there are no major changes in size to the building, the elevation design has improved from the original to enhance overall aesthetics and provide a paseo for pedestrian connectivity
- Building height and materials are still within the original PD requirements

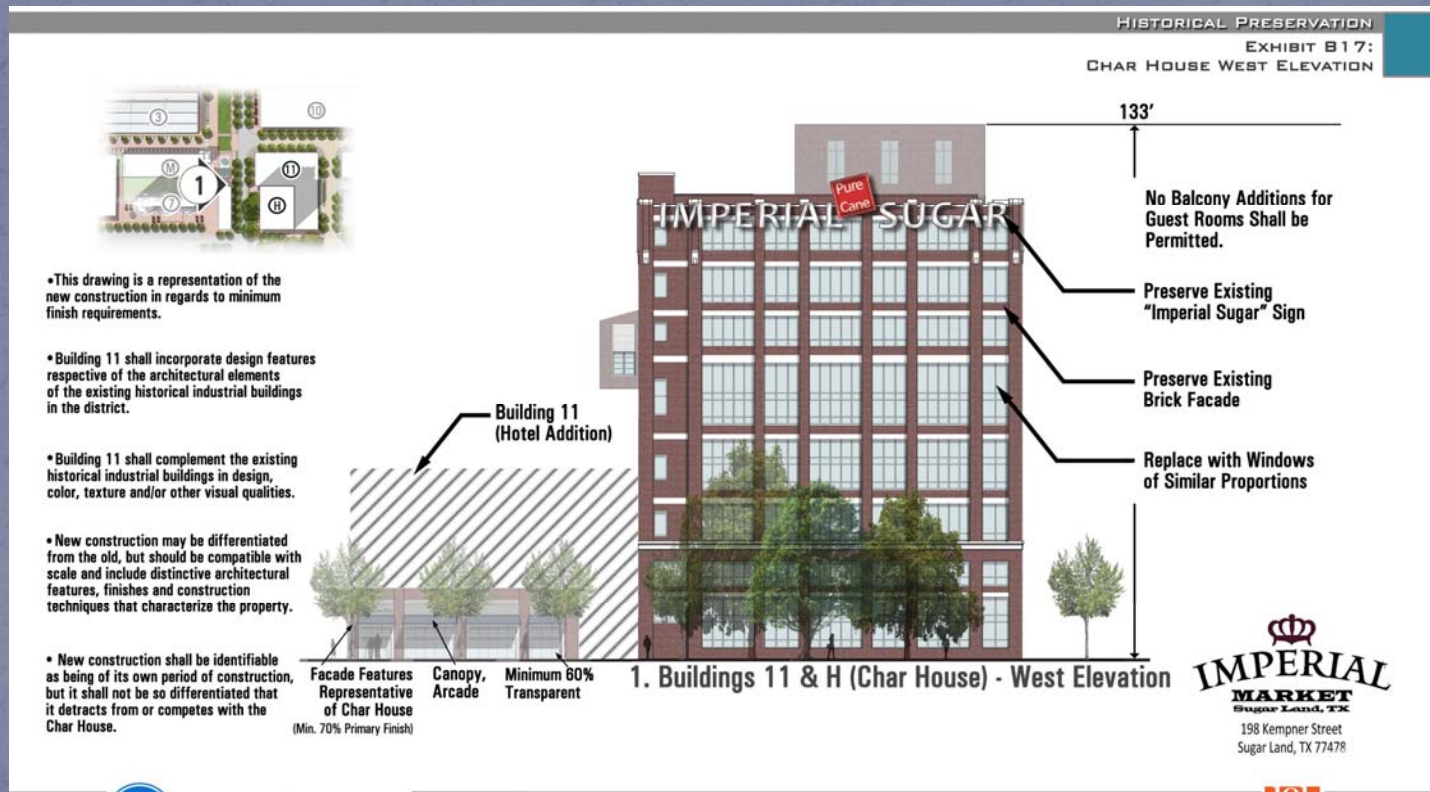
Building 10 Elevation (Exhibit B-15)



Building 11 (Hotel)

- 19,300sf increase to Hotel Annex due to the inclusion of additional levels of hotel support space as shown in original PD elevation.
- There are no changes to the elevation from the original PD document

Building 11 (Hotel) Elevation (Exhibit B-17)



Square Footage Comparison

		Original PD		New Requested		Change	
Building 1		11,950	gsf	10,500	gsf	(1,450)	gsf
Building 2 (Cinema)		77,730	gsf	97,400	gsf	19,670	gsf
Building 3		42,300	gsf	42,000	gsf	(300)	gsf
Building 4		7,200	gsf	9,000	gsf	1,800	gsf
Building 5		2,100	gsf	not used		(2,100)	gsf
Building 6		3,550	gsf	3,600	gsf	50	gsf
Building 7		9,100	gsf	7,100	gsf	(2,000)	gsf
Building 8		12,200	gsf	12,200	gsf	0	gsf
Building 9		56,450	gsf	90,000	gsf	33,550	gsf
Building 10		59,330	gsf	76,000	gsf	16,670	gsf
Building 11 (Hotel Addition)		10,700	gsf	30,000	gsf	19,300	gsf
Building 12		7,000	gsf	6,900	gsf	(100)	gsf
Building 13		12,000	gsf	8,000	gsf	(4,000)	gsf
Building 14		10,000	gsf	9,200	gsf	(800)	gsf
TOTALS		321,610	gsf	401,900	gsf	80,290	gsf

New Requested Square Footage Analysis

	Office and Retail	
Building 1	10,500	gsf
Building 2 (Retail Ground Floor)	46,614	gsf
Building 3	42,000	gsf
Building 4	9,000	gsf
Building 6	3,600	gsf
Building 7	7,100	gsf
Building 8	12,200	gsf
Building 9	90,000	gsf
Building 10	76,000	gsf
Building 11 (Retail Ground Floor)	10,700	gsf
Building 12	6,900	gsf
Building 13	8,000	gsf
Building 14	9,200	gsf
TOTALS	331,814	gsf
	Hotel Annex and Cinema	
Building 2 (Cinema)	50,786	gsf
Building 11 (Hotel Annex)	19,300	gsf
TOTALS	70,086	gsf
	401,900	gsf

- Original parking and traffic analysis used 349,000 square feet of retail and office, a 150 room hotel and a 1,504 seat cinema
- Proposed retail and office square footage is 331,814, hotel room count remains 150 and cinema seat count decreased to 1,021

Questions